



**Article 3: Zoning Districts**

Part 3 Commercial Base Zoning Districts

Section 155.3302 Limited Business (B-1)

**155.3302. LIMITED BUSINESS (B-1)**

A. PURPOSE		TYPICAL BUILDING TYPE
<p>The Limited Business (B-1) district is established and intended to accommodate primarily small-scale, low-intensity office, institutional, personal service, and retail sales uses that primarily serve the needs of residents of the immediately surrounding neighborhood (e.g., professional and business offices, business services, banks, restaurants), as well as -serving institutional uses (e.g., child care facilities, places of worship). It also accommodates complementary residential uses (e.g., live-work and upper-story dwellings) and moderate-density multifamily development (either stand-alone or mixed with commercial development). The district generally serves as transitional zoning between more intensive commercial development and low- and medium-density residential neighborhoods.</p>		
B. USE STANDARDS		
<p>See Appendix A: Consolidated Use Table, and use-specific standards in Article 4: Use Standards.</p>		
C. INTENSITY AND DIMENSIONAL STANDARDS <sup>1</sup>		TYPICAL LOT PATTERN
Lot area, minimum (sq ft)	7,000 <sup>2</sup>	
Lot width, minimum (ft)	70 <sup>2</sup>	
Density, maximum (du/ac)	20 <sup>2,3</sup>	
Lot coverage, maximum (% of lot area)	35 <sup>2</sup>	
Pervious area, minimum (% of lot area)	20 <sup>2</sup>	
Height, maximum (ft)	50	
Front yard setback, minimum (ft)	0	
Street side yard setback, minimum (ft)	0	
Setback from a waterway or canal, minimum (ft)	15	
Interior side yard setback, minimum (ft)	0 <sup>2</sup>	
Rear yard setback, minimum (ft)	30	
Dimensional Standards for Accessory Structures		See Accessory Use-Specific standards in Article 4: Part 3.
<p>NOTES: [sq ft = square feet; ft = feet; du/ac = dwelling units/acre]                      1. See measurement rules and allowed exceptions/variations in Article 9:Part 4 .                      2. For townhouse development, applies only to the development site as a whole, provided individual townhouse lots have a minimum area of 1,800 sq ft and a minimum width of 18 ft.                      3. Residential development on land classified as Commercial by the Land Use Plan is subject to allocation of flex or reserve units in accordance with Chapter 154, Planning.</p>		
D. INTENSITY AND DIMENSIONAL STANDARDS FOR FREE-STANDING RESIDENTIAL BUILDINGS		
<p>Free-standing Residential Buildings shall comply with the following dimensional standards. Standards not listed below, including lot coverage, pervious area, and building height, shall be as required in Section 155.3302.C above.</p>		
Lot area, maximum (acre)	5	
Lot area, maximum (acre) for properties within the NWCRA or AOD	10	
Floor area per dwelling unit, minimum (sq ft)	Efficiency	500 – habitable living space
	1 Bedroom	650 - habitable living space
	Additional Bedroom	100 – habitable living space
Interior side yard setback, minimum (ft)	10	
Rear yard setback, minimum (ft)	10	


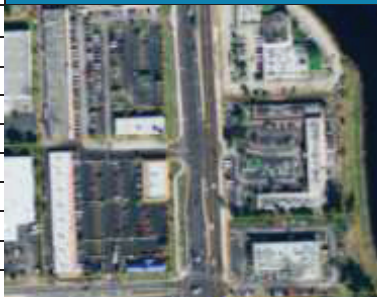


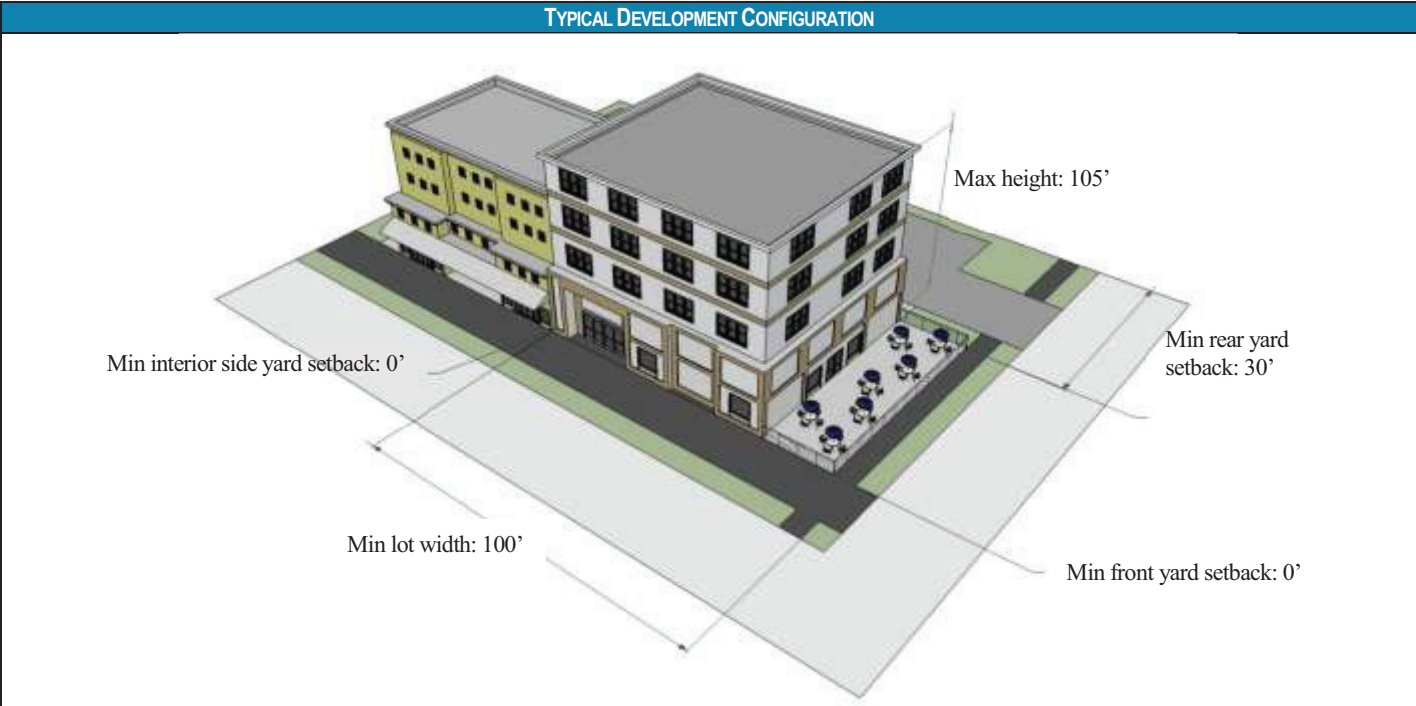
**Article 3: Zoning Districts**

Part 3 Commercial Base Zoning Districts

Section 155.3303 Community Business (B-2)

**155.3303. COMMUNITY BUSINESS (B-2)**

A. PURPOSE		TYPICAL BUILDING TYPE
<p>The Community Business (B-2) district is established and intended to accommodate primarily low- to moderate-intensity office, service, and retail uses that primarily serve the needs of residents of surrounding residential neighborhoods (e.g., professional and business offices, business services, banks, restaurants, convenience stores, gasoline filling stations), as well as neighborhood-serving institutional uses (e.g., child care facilities, places of worship). It also accommodates complementary residential uses (e.g., live-work and upper-story dwellings) and moderate- to high-density multifamily development (either stand-alone or mixed with commercial development).</p>		
B. USE STANDARDS		
<p>See Appendix A: Consolidated Use Table, and use-specific standards in Article 4: Use Standards.</p>		
C. INTENSITY AND DIMENSIONAL STANDARDS <sup>1</sup>		TYPICAL LOT PATTERN
Lot area, minimum (sq ft)	10,000 <sup>2</sup>	
Lot width, minimum (ft)	100 <sup>2</sup>	
Density, maximum (du/ac)	30 <sup>2,3</sup>	
Lot coverage, maximum (% of lot area)	45	
Pervious area, minimum (% of lot area)	20	
Height, maximum (ft)	105 <sup>4</sup>	
Front yard setback, minimum (ft)	0	
Street side yard setback, minimum (ft)	0 <sup>5</sup>	
Setback from a waterway or canal, minimum (ft)	15	
Setback from a dune vegetation line, minimum (ft)	25	
Interior side yard setback, minimum (ft)	0 <sup>2,5</sup>	
Rear yard setback, minimum (ft)	30 <sup>5</sup>	
Dimensional Standards for Accessory Structures		See Accessory Use-Specific standards in Article 4: Part 3.
<p>NOTES: [sq ft = square feet; ft = feet; du/ac = dwelling units/acre]</p> <p>1. See measurement rules and allowed exceptions/variations in Article 9: Part 4.</p> <p>2. For townhouse development, applies only to the development site as a whole, provided individual townhouse lots have a minimum area of 1,800 sq ft and a minimum width of 18 ft.</p> <p>3. Residential development on land classified as Commercial by the Land Use Plan is subject to allocation of flex or reserve units in accordance with Chapter 154, Planning.</p> <p>4. Structures within the Air Park Overlay (APO) zoning district must also comply with the height limits in Section 155.3707.</p> <p>5. Those portions of a structure extending above a height of 50 feet shall be set back an additional 1 ft for each 4 ft (or major fraction thereof) the height of the portion of the structure exceeds 50 ft.</p>		
D. INTENSITY AND DIMENSIONAL STANDARDS FOR FREE-STANDING RESIDENTIAL BUILDINGS		
<p>Free-standing Residential Buildings shall comply with the following dimensional standards. Standards not listed below, including lot coverage, pervious area, and building height, shall be as required in Section 155.3303.C above.</p>		
Lot area, maximum (acre)	5	
Lot area, maximum (acre) for properties within the NWCRA or AOD	10	
Floor area per dwelling unit, minimum (sq ft)	Efficiency	500 – habitable living space
	1 Bedroom	650 - habitable living space
	Additional Bedroom	100 – habitable living space
Interior side yard setback, minimum (ft)	10	
Rear yard setback, minimum (ft)	10	


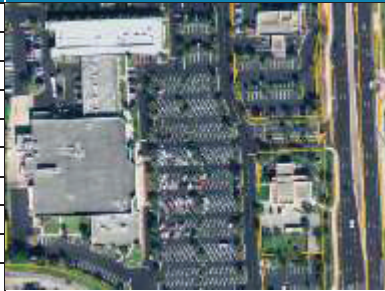


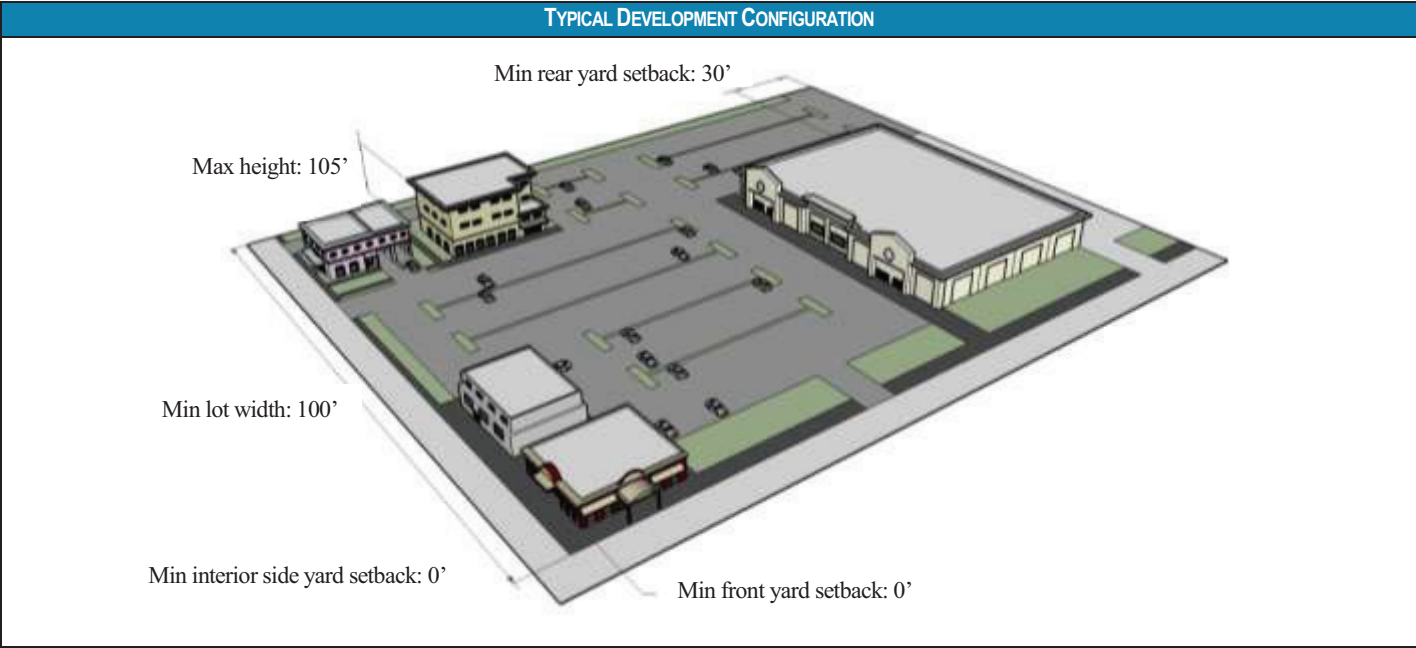
**Article 3: Zoning Districts**

Part 3 Commercial Base Zoning Districts

Section 155.3304 GENERAL Business (B-3)

**155.3304. GENERAL BUSINESS (B-3)**

A. PURPOSE		TYPICAL BUILDING TYPE
<p>The General Business (B-3) district is established and intended to accommodate a diverse range of moderate-intensity retail, service, office, recreation/entertainment, visitor accommodation, and institutional uses that serve the residents and businesses in the community at large (e.g., most retail sales and service uses, restaurants, offices, banks, restaurants, gasoline filling stations, marinas, auto and boat sales and service uses, theaters, hotels, child care facilities, vocational or trade schools, health care facilities, places of worship). It also accommodates complementary residential uses (e.g., live-work and upper-story dwellings) and moderate- to high-density multifamily development (either stand-alone or mixed with commercial development).</p>		
B. USE STANDARDS		
See Appendix A: Consolidated Use Table, and use-specific standards in Article 4: Use Standards.		
C. INTENSITY AND DIMENSIONAL STANDARDS <sup>1</sup>		TYPICAL LOT PATTERN
Lot area, minimum (sq ft)	10,000 <sup>2</sup>	
Lot width, minimum (ft)	100 <sup>2</sup>	
Density, maximum (du/ac)	46 <sup>2,3</sup>	
Lot coverage, maximum (% of lot area)	60	
Pervious area, minimum (% of lot area)	20	
Height, maximum (ft)	105 <sup>4</sup>	
Front yard setback, minimum (ft)	0	
Street side yard setback, minimum (ft)	0 <sup>2,5</sup>	
Setback from a waterway or canal, minimum (ft)	15	
Setback from a dune vegetation line, minimum (ft)	25	
Interior side yard setback, minimum (ft)	0 <sup>2,5</sup>	
Rear yard setback, minimum (ft)	30 <sup>5</sup>	
Dimensional Standards for Accessory Structures	See Accessory Use-Specific standards in Article 4: Part 3.	
<p>NOTES: [sq ft = square feet; ft = feet; du/ac = dwelling units/acre]</p> <p>1. See measurement rules and allowed exceptions/variations in Article 9:Part 4 .</p> <p>2. For townhouse development, applies only to the development site as a whole, provided individual townhouse lots have a minimum area of 1,800 sq ft and a minimum width of 18 ft.</p> <p>3. Residential development on land classified as Commercial by the Land Use Plan is subject to allocation of flex or reserve units in accordance with Chapter 154, Planning.</p> <p>4. Structures within the Air Park Overlay (APO) zoning district must also comply with the height limits in Section 155.3707.</p> <p>5. Those portions of a structure extending above a height of 50 feet shall be set back an additional 1 ft for each 4 ft (or major fraction thereof) the height of the portion of the structure exceeds 50 ft.</p>		
D. INTENSITY AND DIMENSIONAL STANDARDS FOR FREE-STANDING RESIDENTIAL BUILDINGS		
Free-standing Residential Buildings shall comply with the following dimensional standards. Standards not listed below, including lot coverage, pervious area, and building height, shall be as required in Section 155.3304.C above.		
Lot area, maximum (acre)	5	
Lot area, maximum (acre) for properties within the NWCRA or AOD	10	
Floor area per dwelling unit, minimum (sq ft)	Efficiency	500 – habitable living space
	1 Bedroom	650 - habitable living space
	Additional Bedroom	100 – habitable living space
Interior side yard setback, minimum (ft)	10	
Rear yard setback, minimum (ft)	10	



**Article 3: Zoning Districts**


Part 3 Commercial Base Zoning Districts

Section 155.3305 Heavy Business (B-4)


**155.3305. HEAVY BUSINESS (B-4)**

A. PURPOSE		TYPICAL BUILDING TYPE	
The Heavy Business (B-4) district is established and intended to accommodate a wide and diverse range of moderate- to high-intensity retail, service, office, recreation/entertainment, and institutional uses that provide goods and services serving a community, city-wide, and regional customer bases. It also accommodates the city’s major employment-generating non-industrial uses, as well as wholesaling, warehousing, and limited light manufacturing uses. Residential uses are generally inappropriate in this district.			
B. USE STANDARDS			
See Appendix A: Consolidated Use Table, and use-specific standards in Article 4: Use Standards.			
C. INTENSITY AND DIMENSIONAL STANDARDS <sup>1</sup>		TYPICAL LOT PATTERN	
Lot area, minimum (sq ft)	10,000		
Lot width, minimum (ft)	100		
Density, maximum (du/ac)	n/a		
Lot coverage, maximum (% of lot area)	60		
Pervious area, minimum (% of lot area)	20		
Height, maximum (ft)	105 <sup>2</sup>		
Front yard setback, minimum (ft)	0		
Street side yard setback, minimum (ft)	0 <sup>3</sup>		
Setback from a waterway or canal, minimum (ft)	15		
Setback from a dune vegetation line, minimum (ft)	25		
Interior side yard setback, minimum (ft)	0 <sup>3</sup>		
Rear yard setback, minimum (ft)	30		
Dimensional Standards for Accessory Structures	See Accessory Use-Specific standards in Article 4: Part 3.		
NOTES: [sq ft = square feet; ft = feet; du/ac = dwelling units/acre]			
1. See measurement rules and allowed exceptions/variations in Article 9:Part 4 .			
2. Structures within the Air Park Overlay (APO) zoning district must also comply with the height limits in Section 155.3707.			
3. Increased 1 ft for each 4 ft (or major fraction thereof) the structure’s height exceeds 50 ft.			
TYPICAL DEVELOPMENT CONFIGURATION			
			

**155.3306. MARINE BUSINESS (M-1)**

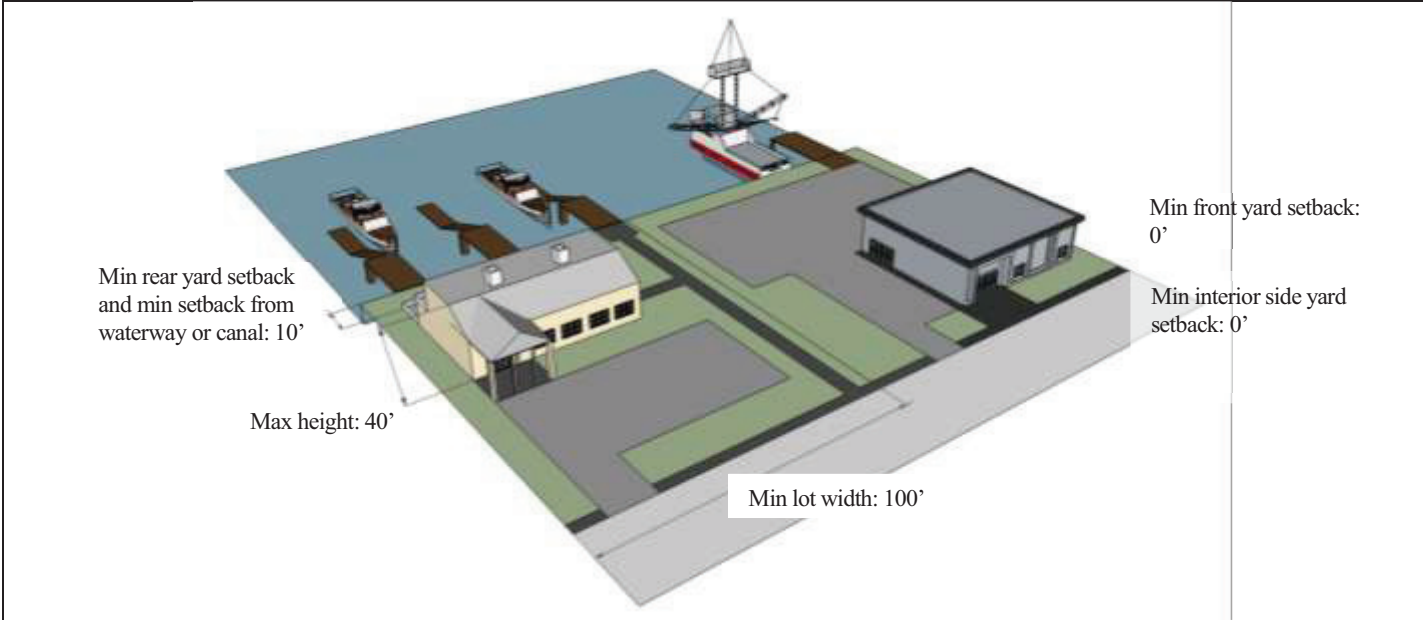
<b>A. PURPOSE</b>	<b>TYPICAL BUILDING TYPE</b>
The Marina Business (M-1) district is established and intended to accommodate commercial and recreational marinas and associated docking facilities, boat and marine sales, restaurants, and yacht clubs. It also accommodates boat repair dry storage in an enclosed building—but not waterfront industrial uses such as outdoor boat repair or dry storage, or boat manufacturing.	

<b>B. USE STANDARDS</b>
See Appendix A: Consolidated Use Table, and use-specific standards in Article 4: Use Standards.

<b>C. INTENSITY AND DIMENSIONAL STANDARDS<sup>1</sup></b>		
Lot area, minimum (sq ft)	10,000	<b>TYPICAL LOT PATTERN</b> 
Lot width, minimum (ft)	100	
Density, maximum (du/ac)	n/a	
Lot coverage, maximum (% of lot area)	60	
Pervious area, minimum (% of lot area)	20	
Height, maximum (ft)	40	
Front yard setback, minimum (ft)	0	
Street side yard setback, minimum (ft)	0	
Setback from a waterway or canal.	10	
Interior side yard setback, minimum (ft)	0 <sup>2</sup>	
Rear yard setback, minimum (ft)	10	
Dimensional Standards for Accessory Structures	See Accessory Use-Specific standards in Article 4: Part 3.	

NOTES: [sq ft = square feet; ft = feet; du/ac = dwelling units/acre]  
 1. See measurement rules and allowed exceptions/variations in Article 9: Part 4 .  
 2. 10 ft from a waterway or canal.

**TYPICAL DEVELOPMENT CONFIGURATION**






**Article 3: Zoning Districts**


Part 4 Industrial Base Zoning Districts

Section 155.3307 Commercial Recreation (CR)

**155.3307. COMMERCIAL RECREATION (CR)**

A. PURPOSE	TYPICAL BUILDING TYPE
<p>The Commercial Recreation (CR) district is established and intended to accommodate the more intensive outdoor and indoor recreation facilities (e.g., active recreation complexes, stadiums, arenas, jai-alai frontons, dog or horse racing facilities), as well as other outdoor and indoor commercial recreation uses (e.g., bowling alleys, golf courses, miniature golf courses, golf driving ranges, racquet sports and swimming pool facilities, marinas). It also accommodates hotels and motels.</p>	

B. USE STANDARDS
<p>See Appendix A: Consolidated Use Table, and use-specific standards in Article 4: Use Standards.</p>

C. INTENSITY AND DIMENSIONAL STANDARDS <sup>1</sup>		TYPICAL LOT PATTERN
Lot area, minimum (sq ft)	10,000	
Lot width, minimum (ft)	100	
Density, maximum (du/ac)	n/a	
Lot coverage, maximum (% of lot area)	50	
Pervious area, minimum (% of lot area)	40	
Height, maximum (ft)	105	
Front yard setback, minimum (ft)	25	
Street side yard setback, minimum (ft)	25	
Setback from a waterway or canal, minimum (ft)	15	
Interior side yard setback, minimum (ft)	25	
Rear yard setback, minimum (ft)	25	
Dimensional Standards for Accessory Structures	See Accessory Use-Specific standards in Article 4: Part 3.	

NOTES: [sq ft = square feet; ft = feet; du/ac = dwelling units/acre]  
 1. See measurement rules and allowed exceptions/variations in Article 9: Part 4 .

**TYPICAL DEVELOPMENT CONFIGURATION**

