

Table 155.3501.O.5: Maximum Allowable Projections of Awnings and similar features**Note:** This table is best viewed in PDF, click [HERE](#)

Table 155.3501.O.5: Maximum Allowable Projections and Encroachments of Architectural Elements				
Element	Front, Street Side, and Rear Setbacks		Interior Side Setback	0 ft setback
	Setback = 10 ft or less	Setback = greater than 10 ft		
Bay Windows	3 feet ⁴	3 feet ⁴	3 feet	Upper floor only, 3 ft into a public right-of-way ²
Balconies	6 feet ⁴	6 feet ⁴	3 feet	Upper floor only, 3 ft into a public right-of-way ²
Awnings ³	6 feet	6 feet	3 feet	24 in. from the face of the curb ²
Stoops	6 feet	6 feet	3 feet	Not Permitted
Stairs	6 feet	8 feet	3 feet	Not Permitted
Porches ¹	6 feet	8 feet	3 feet	Not Permitted
Roof eaves, chimneys, and ramps	May encroach into all setbacks			Roof Eaves only, 3 ft into a public right-of-way ²
Cornice	May encroach into all setbacks			1 ft into a public right-of-way ²

Notes:

1. The encroachment of porches shall only be permitted in conjunction with residential single-family units.
2. Right-of-way encroachments shall be a minimum of 11 feet above the sidewalk and may require a revocable license agreement in accordance with Code Section 100.35.
3. The placement of awnings shall take into consideration the overall composition of the facade. Awnings shall be designed to fit between vertical architectural elements or features including but not limited to columns, etc. In no case shall the length of an awning exceed 20 feet.
4. Accessory buildings shall be permitted to have balconies or bay windows that encroach a maximum of 3 feet into the rear yard setback.

BUILDING TYPOLOGY AND PLACEMENT REGULATING DIAGRAM [\[PDF\]](#)**TOWER BUILDING TYPE**

BUILDING TYPOLOGY AND PLACEMENT REGULATING DIAGRAM:

TOWER BUILDING TYPE**DEFINITION:**

a multi level building organized around a central core where a part of the building is higher in proportion.

-  BUILDING LINE
 PROPERTY LINE
 ACTIVE USE
 PARKING AREA
 LOT WIDTH
 LOT DEPTH

LOT STANDARDS: MIN. MAX.

a. Lot Width	200'	350'
b. Lot Depth	100'	N/A
c. Lot Area	N/A	N/A
d. Impervious Area	N/A	90% (1)
e. Pervious Area	10% (1)	N/A
f. Interior Side Setback	0' (2,3)	N/A
g. Rear Setback	0' (2,3)	N/A

h. Front and Street Side Setbacks and Building Frontage Requirements are provided in each TO Overlay District.

NOTES:

1. At grade
2. Setback shall be 30' minimum when abutting single family residential development. The 30' shall be provided as or preserved for an alley or service road capable of providing cross access.
3. Setback shall be 15' minimum when abutting two family or townhouse development. The 15' shall be provided as or preserved for a pedestrian passage capable of providing cross access.

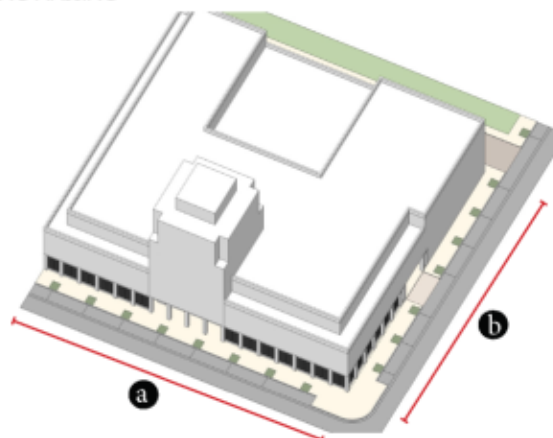
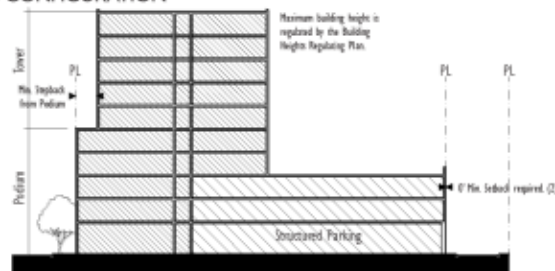
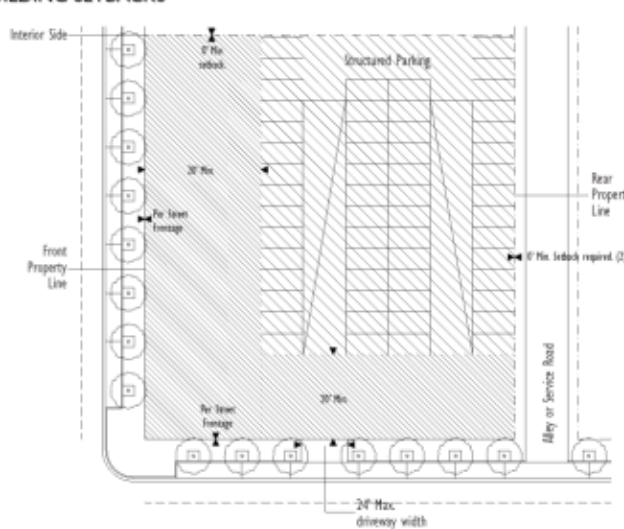
OPEN SPACE STANDARDS:

All multi-family residential, live-work units and mixed-use developments with residential dwellings shall reserve a minimum of 10% of the site for common, private open space.

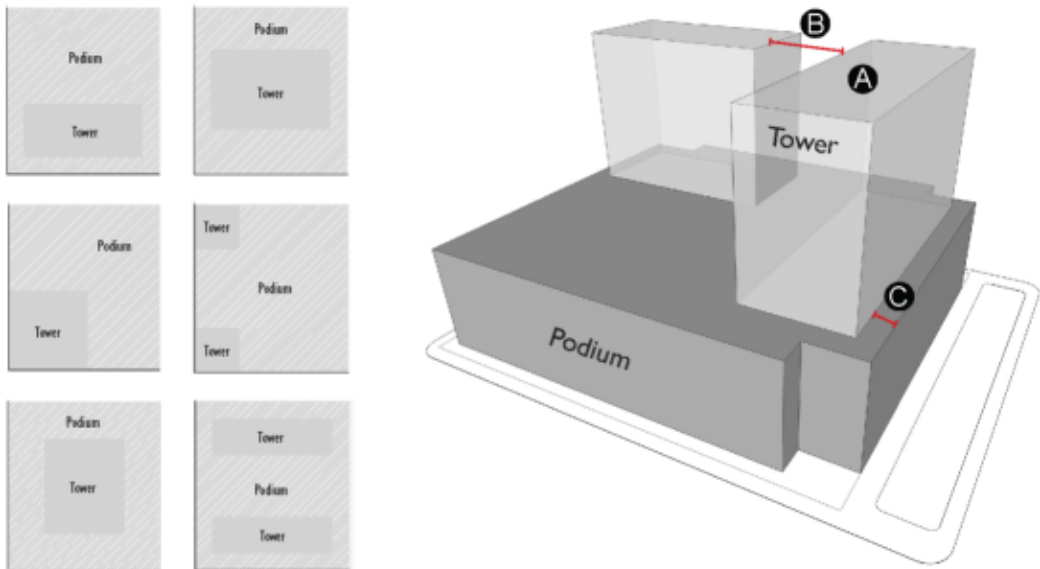
FORECOURT STANDARDS:

For purposes of the building frontage, a forecourt shall be considered as a principal building. Where a forecourt is provided, the following shall apply:

1. The portion of the building fronting the forecourt may be set back up to 25 feet from the property line to accommodate a forecourt.
2. The forecourt shall not exceed sixty (60%) percent of the building frontage.
3. To preserve existing tree canopy, the forecourt setback or percent of building frontage may be greater, subject to Urban Forestry approval.

BUILDING MASSING**BUILDING CONFIGURATION****BUILDING SETBACKS**

EXAMPLES OF TOWER CONFIGURATION



- A. TOWER FLOORPLATE STANDARD:
Above the fifth floor there shall be a maximum floorplate size. The floorplate size for multiple towers shall be calculated as an average of the total cumulative tower floorplate area divided by the number of stories above the fifth floor. Except as otherwise modified in the overlay district regulations, the maximum floorplate size is dependent upon the tower's primary use as follows:
- 1. Office or Non-Residential - average of 35,000 square feet for multiple towers and a 45,000 square feet maximum permitted floorplate size for any individual tower floorplate.
 - 2. Residential, Mixed-Use or Hotel - average of 20,000 square feet for multiple towers and a 32,500 square feet maximum permitted floorplate size for any individual tower floorplate.
- B. TOWER SEPARATION:
The minimum allowable horizontal distance between two or more towers on a single lot or development, shall be 60 feet. The minimum allowable horizontal distance between towers on adjoining lots or in different developments shall be 60 feet.
- C. TOWER STEPBAC:
The minimum setback for the tower shall be ten feet from the podium along interior side and rear property lines only. Along the front and street side property lines the minimum setback for the tower shall be as specified in each TO overlay district.
- D. TOWER ORIENTATION:
Tower orientation shall be specified toward terminating street vistas and along Designated Publicly Accessible Greenways and Open Spaces, where applicable. The placement of the tower shall be such that it is near, fronting, or adjacent to a specified Designated Greenway and/or Open Space in order to provide a continuous strong edge to the public realm, creating defined public spaces and continuity in the urban context.

ILLUSTRATIVE EXAMPLES



LINER BUILDING TYPE

BUILDING TYPOLOGY AND PLACEMENT REGULATING DIAGRAM:
LINER BUILDING TYPE

DEFINITION:
A building that conceals a garage, or other faceless building, that is designed for occupancy.

- BUILDING LINE
- PROPERTY LINE
- COLONNADE
- ACTIVE USE
- PARKING AREA
- a

LOT WIDTH
- b

LOT DEPTH

LOT STANDARDS:	MIN.	MAX.
a. Lot Width	125'	350'
b. Lot Depth	170'	N/A
c. Lot Area	N/A	N/A
d. Impervious Area	N/A	90% (1)
e. Pervious Area	10% (1)	N/A
f. Interior Side Setback	0' (2,3)	N/A
g. Rear Setback	0' (2,3)	N/A

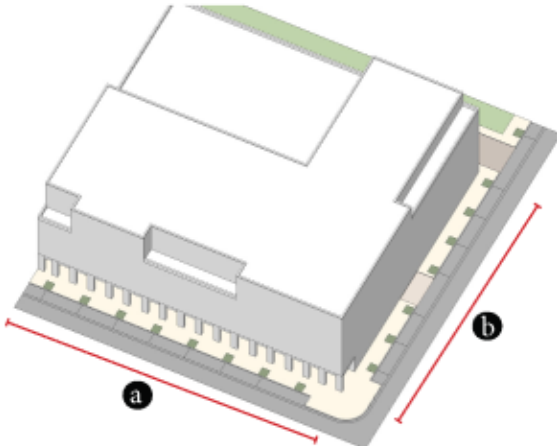
h. Front and Street Side Setbacks and Building Frontage Requirements are provided in each TO Overlay District.

- NOTES:**
- At grade.
 - Setback shall be 30' minimum when abutting single family residential development. The 30' shall be provided as or preserved for an alley or service road capable of providing cross access.
 - Setback shall be 15' minimum when abutting two family or townhouse development. The 15' shall be provided as or preserved for a pedestrian passage capable of providing cross access.

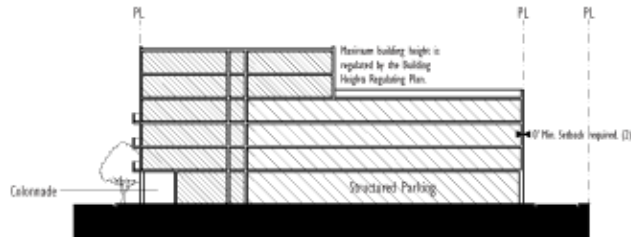
OPEN SPACE STANDARDS:
All multi-family residential, live-work units and mixed-use developments with residential dwellings shall reserve a minimum of 10% of the site for common, private open space.

- FORECOURT STANDARDS:**
For purposes of the building frontage, a forecourt shall be considered as a principal building. Where a forecourt is provided, the following shall apply:
- The portion of the building fronting the forecourt may be set back up to 25 feet from the property line to accommodate a forecourt.
 - The forecourt shall not exceed sixty (60%) percent of the building frontage.
 - To preserve existing tree canopy, the forecourt setback or percent of building frontage may be greater, subject to Urban Forestry approval.

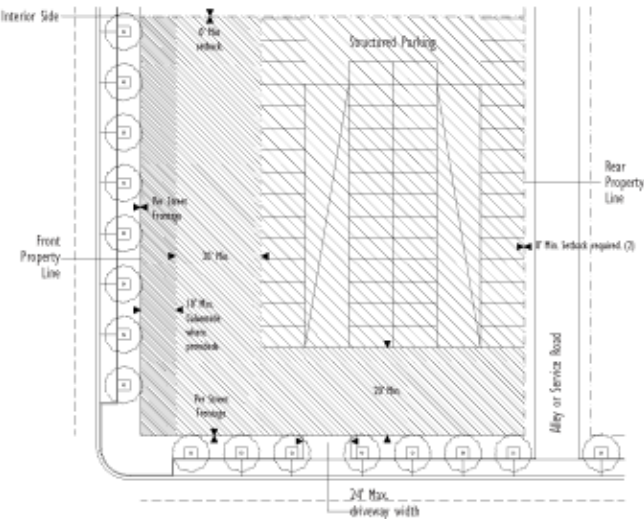
BUILDING MASSING



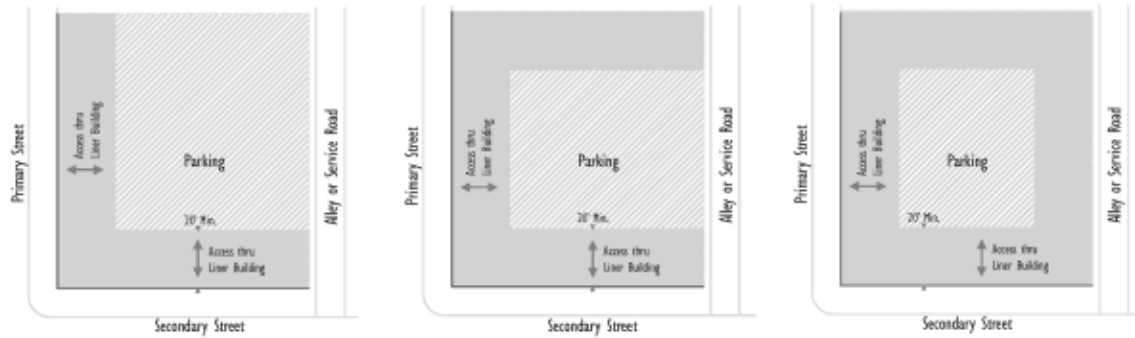
BUILDING CONFIGURATION



BUILDING SETBACKS



EXAMPLES OF LINER CONFIGURATION



Liner buildings along Main Street in City Place



View from rear of lot showing parking garage structures lined along the street

COURTYARD BUILDING TYPE A

BUILDING TYPOLOGY AND PLACEMENT REGULATING DIAGRAM:

COURTYARD BUILDING TYPE A**DEFINITION:**

a building characterized as having a central open space that is open to the sky and enclosed by habitable space on at least three sides with detached parking.

-  BUILDING LINE
 PROPERTY LINE
 ACTIVE USE
 PARKING AREA
 LOT WIDTH
 LOT DEPTH

LOT STANDARDS: MIN. MAX.

a. Lot Width	150'	350'
b. Lot Depth	160'	N/A
c. Lot Area	N/A	N/A
d. Impervious Area	N/A	90% (1)
e. Pervious Area	10% (1)	N/A
f. Interior Side Setback	0' (2)	N/A
g. Rear Setback	0' (2)	N/A

h. Front and Street Side Setbacks and Building Frontage Requirements are provided in each TO Overlay District.

NOTES:

- At grade.
- Setback shall be 30' minimum when abutting single family residential development. The 30' shall be provided as or preserved for an alley or service road capable of providing cross access.
- Setback shall be 15' minimum when abutting two family or townhouse development. The 15' shall be provided as or preserved for a pedestrian passage capable of providing cross access.

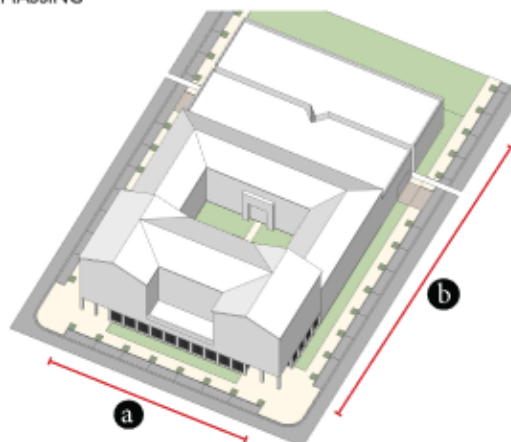
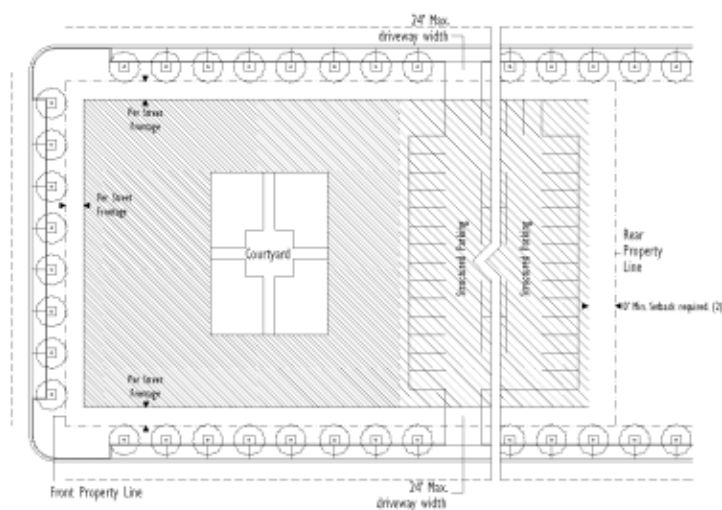
OPEN SPACE STANDARDS:

All multi-family residential, live-work units and mixed-use developments with residential dwellings shall reserve a minimum of 10% of the site for common, private open space.

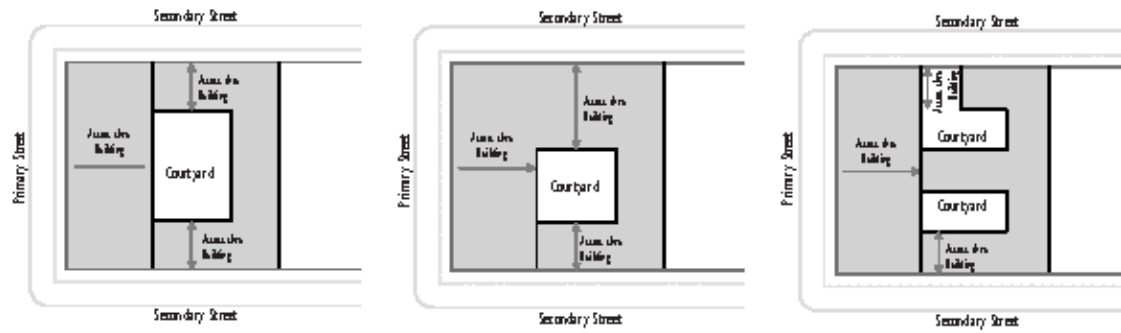
FORECOURT STANDARDS:

For purposes of the building frontage, a forecourt shall be considered as a principal building. Where a forecourt is provided, the following shall apply:

- The portion of the building fronting the forecourt may be set back up to 25 feet from the property line to accommodate a forecourt.
- The forecourt shall not exceed sixty (60%) percent of the building frontage.
- To preserve existing tree canopy, the forecourt setback or percent of building frontage may be greater, subject to Urban Forestry approval.

BUILDING MASSING**BUILDING CONFIGURATION****BUILDING SETBACKS**

EXAMPLES OF BUILDING CONFIGURATION



COURTYARD BUILDING TYPE B

BUILDING TYPOLOGY AND PLACEMENT REGULATING DIAGRAM:
COURTYARD BUILDING TYPE B

DEFINITION:
a building characterized as having a central open space that is open to the sky and enclosed by habitable space on at least three sides with attached parking.

- BUILDING LINE
PROPERTY LINE
ACTIVE USE
PARKING AREA
a LOT WIDTH
b LOT DEPTH

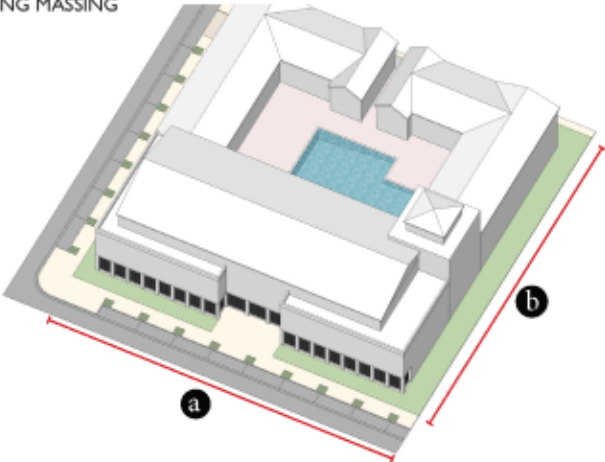
LOT STANDARDS:	MIN.	MAX.
a. Lot Width	150'	350'
b. Lot Depth	160'	N/A
c. Lot Area	N/A	N/A
d. Impervious Area	N/A	90% (1)
e. Pervious Area	10% (1)	N/A
f. Interior Side Setback	0' (2)	N/A
g. Rear Setback	0' (2)	N/A
h. Front and Street Side Setbacks and Building Frontage Requirements are provided in each TO Overlay District.		

- NOTES:**
- At grade.
 - Setback shall be 30' minimum when abutting single family residential development. The 30' shall be provided as or preserved for an alley or service road capable of providing cross access.
 - Setback shall be 15' minimum when abutting two family or townhouse development. The 15' shall be provided as or preserved for a pedestrian passage capable of providing cross access.

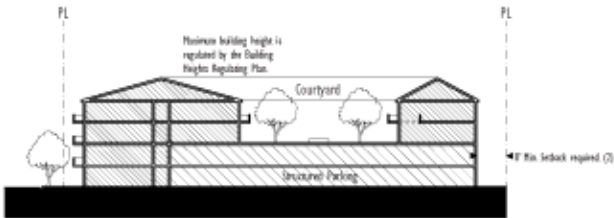
OPEN SPACE STANDARDS:
All multi-family residential, live-work units and mixed-use developments with residential dwellings shall reserve a minimum of 10% of the site for common, private open space.

- FORECOURT STANDARDS:**
For purposes of the building frontage, a forecourt shall be considered as a principal building. Where a forecourt is provided, the following shall apply:
- The portion of the building fronting the forecourt may be set back up to 25 feet from the property line to accommodate a forecourt.
 - The forecourt shall not exceed sixty (60%) percent of the building frontage.
 - To preserve existing tree canopy, the forecourt setback or percent of building frontage may be greater, subject to Urban Forestry approval.

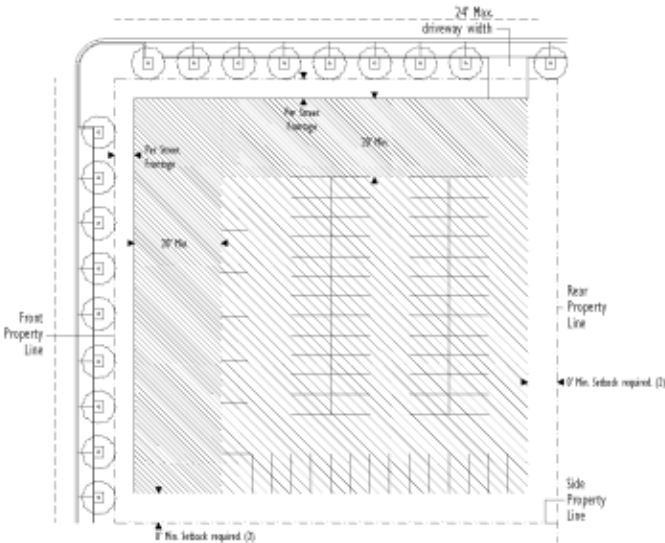
BUILDING MASSING



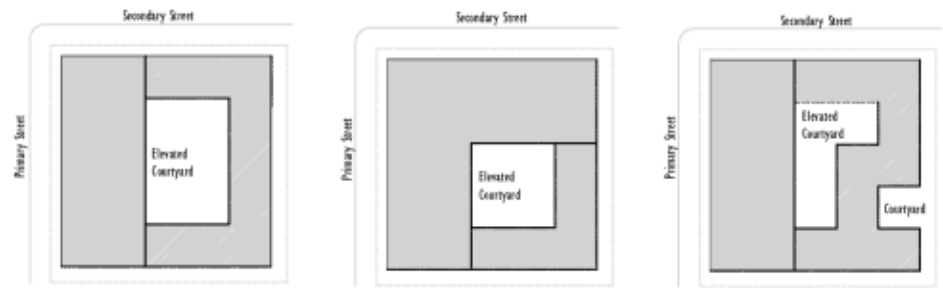
BUILDING CONFIGURATION



BUILDING SETBACKS



EXAMPLES OF BUILDING CONFIGURATION

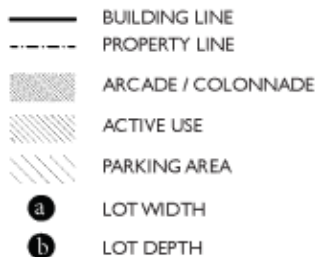


FLEX BUILDING TYPE

BUILDING TYPOLOGY AND PLACEMENT REGULATING DIAGRAM: FLEX BUILDING TYPE

DEFINITION:

buildings designed to respond to changes of function in a flexible way. The flex building is able to accept different internal configurations and easily adapt to its surroundings.



LOT STANDARDS:	MIN.	MAX.
a. Lot Width	25'	350'
b. Lot Depth	70'	N/A
c. Lot Area	N/A	N/A
d. Impervious Area	N/A	90% (1)
e. Pervious Area	10% (1)	N/A
f. Interior Side Setback	0' (2)	N/A
g. Rear Setback	0' (2)	N/A
h. Front and Street Side Setbacks and Building Frontage Requirements are provided in each TO Overlay District.		

NOTES:

1. At grade.
2. Setback shall be 30' minimum when abutting single family residential development. The 30' shall be provided as or preserved for an alley or service road capable of providing cross access.
3. Setback shall be 15' minimum when abutting two family or townhouse development. The 15' shall be provided as or preserved for a pedestrian passage capable of providing cross access.

OPEN SPACE STANDARDS:

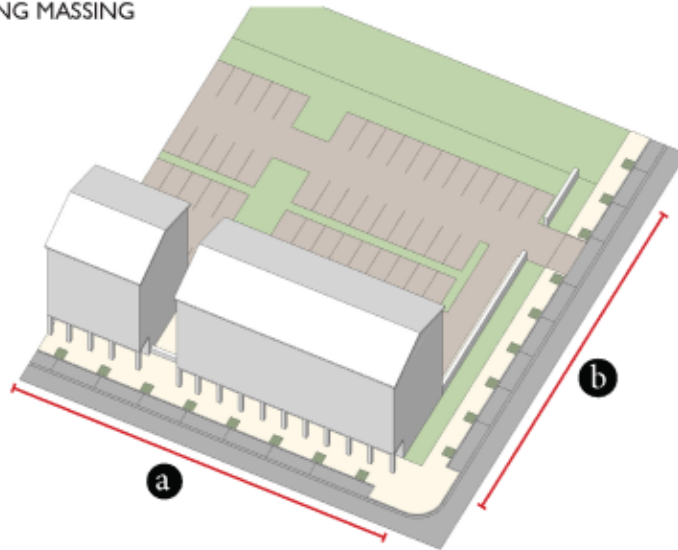
All multi-family residential, live-work units and mixed-use developments with residential dwellings shall reserve a minimum of 10% of the site for common, private open space.

FORECOURT STANDARDS:

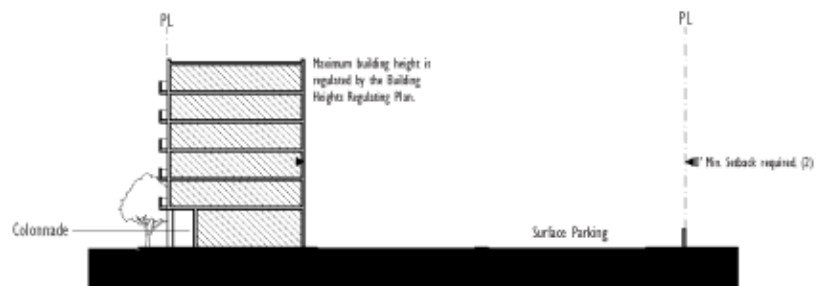
For purposes of the building frontage, a forecourt shall be considered as a principal building. Where a forecourt is provided, the following shall apply:

1. The portion of the building fronting the forecourt may be set back up to 25 feet from the property line to accommodate a forecourt.
2. The forecourt shall not exceed sixty (60%) percent of the building frontage.
3. To preserve existing tree canopy, the forecourt setback or percent of building frontage may be greater, subject to Urban Forestry approval.

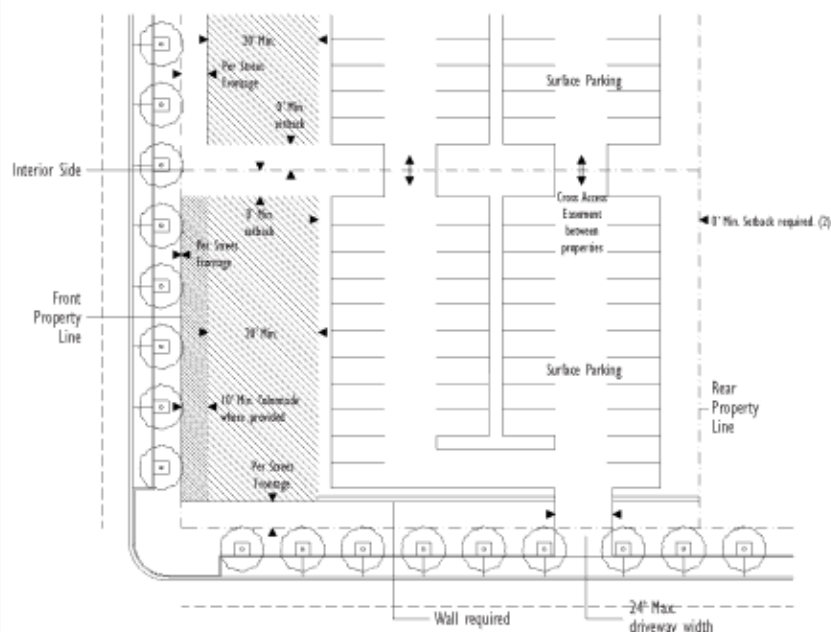
BUILDING MASSING



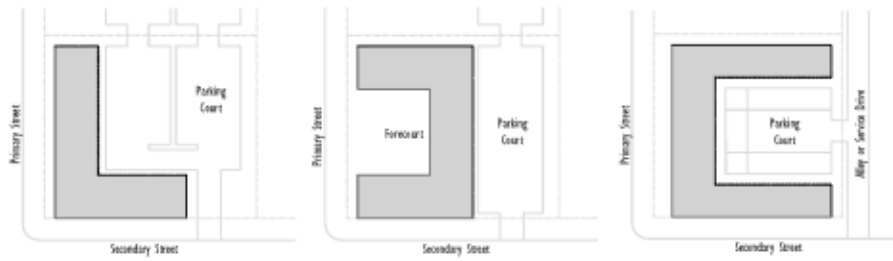
BUILDING CONFIGURATION



BUILDING SETBACKS



EXAMPLES OF BUILDING CONFIGURATION

**TOWNHOUSE BUILDING TYPE A**

TOWNHOUSE BUILDING TYPE A

A single dwelling unit in a group of such units that are attached horizontally in a linear arrangement to form a single building, with each unit occupying space from the ground to the roof of the building, and located or capable of being located on a separate townhouse lot. A townhouse development is considered a type of multiunit dwelling. Townhouse Type A is distinguished by a detached garage/ parking area thereby providing a private near yard in the center of the lot.



LOT STANDARDS:	MIN.	MAX.
a. Lot Width	25'	30'
b. Lot Depth	80'	N/A
c. Lot Area	1800 sf	N/A
d. Impervious Area	N/A	99%
e. Pervious Area	10%	N/A
f. Interior Side Setback	0' (2)	N/A
g. Rear Setback	0'	5'

h. Front and Street Side Setbacks and Building Frontage Requirements are provided in each TO Overlay District.

1. Townhouses shall provide a minimum of 15 feet between building groups. Building groups shall not be greater than 7 attached units in length.
2. Except 10 feet when abutting a passageway.

The parking shall be detached from the principal building and accessed from the rear off an alley or service road. Parking may be unenclosed, fully enclosed in a garage, or in a parking enclosure with a carport. In no case, shall parking be permitted in the front yard.

A minimum of 400 square feet of private open space shall be required in the form of a rear yard.

Townhouses are an appropriate transitional building type between non-residential/mixed-use and single family residential uses. The primary structure shall always be located along the street edge while the parking area is always located along the rear of the lot. This ensures better compatibility with the existing single family residential uses by having the building mass away from the single family residential.

A 3D perspective diagram of a building layout. A red line runs along the left side of the building, with a black circle containing the letter 'a' at the bottom and a black circle containing the letter 'b' at the top. The building has a central courtyard and several gabled roofs. The entire scene is set within a green rectangular area, possibly representing a plot or a field.

[illegible]

12/19

TOWNHOUSE BUILDING TYPE B

	BUILDING LINE
	PROPERTY LINE
	ACTIVE USE
	PARKING AREA
	LOT WIDTH
	LOT DEPTH

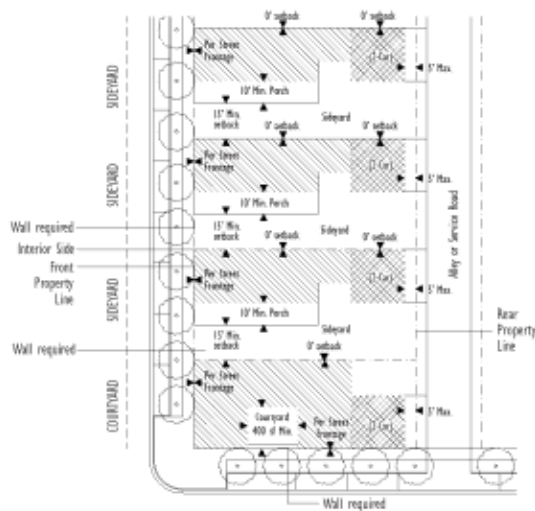
a. Lot Width	25'	30'
b. Lot Depth	70'	N/A
c. Lot Area	1800 sf	N/A
d. Impervious Area	N/A	90%
e. Pervious Area	10%	N/A
f. Interior Side Setback	0' (2)	N/A
g. Rear Setback	0'	N/A

Townhouses are an appropriate transitional building type between non-residential/limited-use and single family residential uses. The primary structures shall always be located along the street edge while the parking area is always located along the rear of the lot. This ensures better compatibility with the existing single family residential uses by having the building mass away from the single family residential.

A 3D perspective view of a building with a curved roof and a ramp. A red line with a dot at the end indicates the location of the fire alarm control panel (a) on the ramp. A red line with a dot at the end indicates the location of the fire alarm bell (b) on the roof.

13/19

ZERO-LOT LINE WITH ALLEY/SERVICE ROAD (SIDEYARD HOUSE AND COURTYARD HOUSE TYPE)



BUILDING TYPOLOGY AND PLACEMENT REGULATING DIAGRAM:
ZERO-LOT LINE NO ALLEY/SERVICE ROAD (SIDEYARD HOUSE AND COURTYARD HOUSE TYPE)

DEFINITION:
Sideyard House: a detached dwelling distinguished by the provision of an unenclosed porch on the side of the house. The side porch is screened from the view of the street by a wall or fence.
Courtyard House: A dwelling unit distinguished by the provision of an open-air courtyard or atrium. The courtyard is enclosed on at least three sides by habitable space and shall provide penetrable openings such as windows and doors between the interior of the dwelling and the courtyard.

- SY Sideyard
- CY Courtyard
- BUILDING LINE
- PROPERTY LINE
- ACTIVE USE
- PARKING AREA

LOT STANDARDS:	MIN.	MAX.
a. Lot Width	50' 40' 60' 50'	
b. Lot Depth	80'	N/A
c. Lot Area	5000sf 4000sf	N/A
d. Impervious Area	N/A	60% 70%
e. Pervious Area	30%	N/A
f. Interior Side Setback	0'/15' (1)	0'/ N/A
g. Rear Setback	15' (2)	N/A

h. Front and Street Side Setbacks and Building Frontage Requirements are provided in each TO Overlay District.

- NOTES:**
- One side shall be 0 feet and the other a minimum of 15 feet.
 - Except 30' minimum when abutting existing single family residential and an alley or service drive is not existing or proposed.
 - Sideyards shall be required to provide a porch on the side a minimum 10 feet deep.

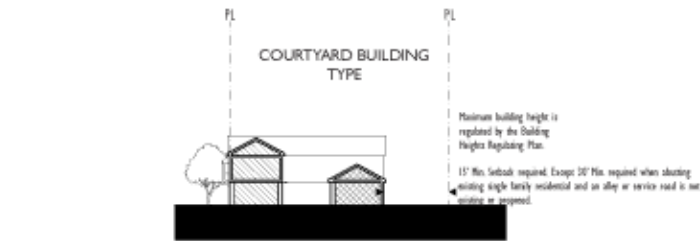
PARKING STANDARDS:
Parking shall be accessed from the street and fully enclosed in a garage attached to the principal building.
For Sideyard House Types only, one-car garages may be aligned with the principle structure or stepped back. Two-car garages shall be stepped back from the principle structure.
For Courtyard House Types, all garages shall be stepped back from the principle structure.

OPEN SPACE STANDARDS:
A minimum of 400 square feet of private open space shall be required in the form of a courtyard, sideyard or rear yard.
For Sideyard House Types only, The required sideyard shall be a minimum of 15 feet wide.

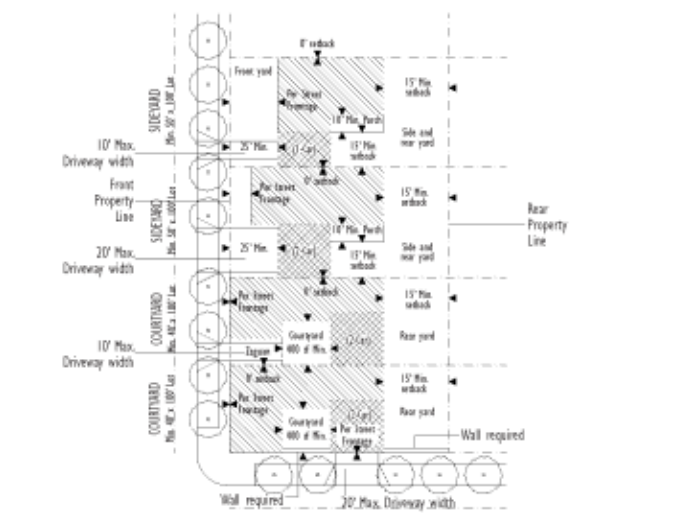
BUILDING MASSING



BUILDING CONFIGURATION



BUILDING SETBACKS



SINGLE-FAMILY DWELLING TYPE WITH ALLEY/SERVICE ROAD

BUILDING TYPOLOGY AND PLACEMENT REGULATING DIAGRAM:
SINGLE FAMILY DWELLING TYPE WITH ALLEY/SERVICE ROAD

DEFINITION:
A single detached dwelling, other than a mobile home, containing a single dwelling unit.

- BUILDING LINE
- PROPERTY LINE
- ACTIVE USE
- PARKING AREA
- a

LOT WIDTH
- b

LOT DEPTH

LOT STANDARDS:	MIN.	MAX.
a. Lot Width	50'	110'
b. Lot Depth	100'	N/A
c. Lot Area	5000 sf	N/A
d. Impervious Area	N/A	(1)
e. Pervious Area	30%	N/A
f. Interior Side Setback	7.5' (2)	N/A
g. Rear Setback	15' (3)	N/A

h. Front and Street Side Setbacks and Building Frontage Requirements are provided in each TO Overlay District.

- NOTES:**
1.

For lots 12,000 sf or greater, the maximum lot coverage shall be 30%; For lots 5,000 sf - 12,000 sf, the maximum lot coverage shall be 40%.
2.

For lots 12,000 sf or greater, the interior side setback shall be a minimum of 18 feet.
3.

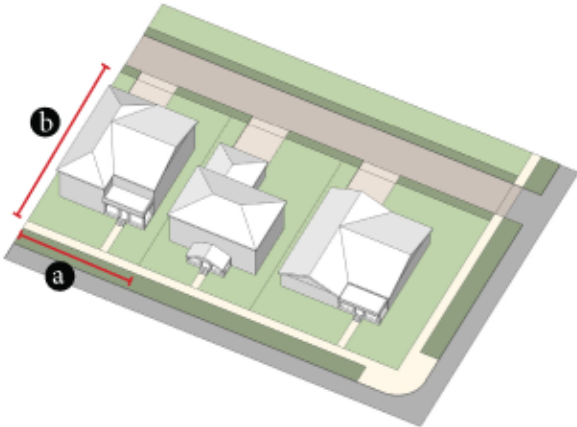
For lots 7,000 sf or greater, the rear setback shall be a minimum of 20 feet. In all cases, if the proposed building is 2 stories or more the rear setback shall be a minimum of 30 feet. Garages shall be setback a minimum of 25 feet from the rear property line.
4.

Front setbacks are determined based on the street frontage and as specified in each TO overlay district. In addition, for lots 12,000 sf or greater, the front and corner side setback shall be a minimum of 35 feet.

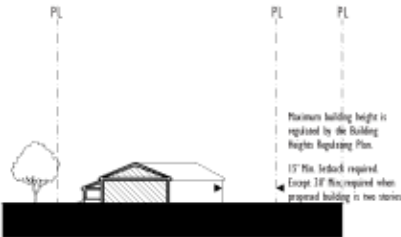
PARKING STANDARDS:
The parking shall be accessed from the rear off an alley or a service road. Parking may be unenclosed, fully enclosed in a garage, or in a parking enclosure with a carport.

OPEN SPACE STANDARDS:
A minimum of 400 square feet of private open space shall be required in the form of a rear yard.

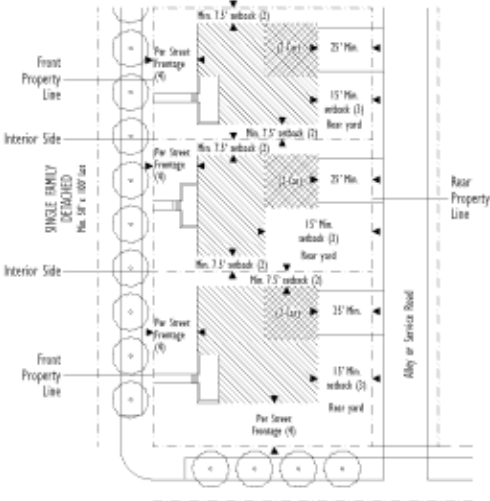
BUILDING MASSING



BUILDING CONFIGURATION



BUILDING SETBACKS



SINGLE-FAMILY DWELLING TYPE NO ALLEY/SERVICE ROAD

SINGLE FAMILY DWELLING TYPE NO ALLEY/SERVICE ROAD

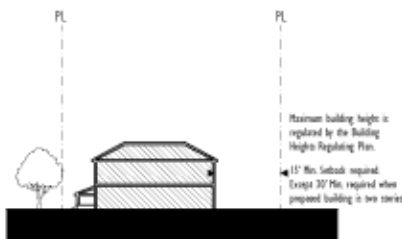
BUILDING MASSING

The diagram illustrates a residential street layout. It shows a 30m wide road and a 10m wide sidewalk. The road is divided into three lanes, each 10m wide. The sidewalk is 10m wide. The diagram also shows a green area, likely a park or lawn, and a building with a car parked in front of it.

- LOT STANDARDS: MIN. MAX.

a. Lot Width	50'	110'
b. Lot Depth	100'	N/A
c. Lot Area	5000 sf	N/A
d. Impervious Area	N/A	(1)
e. Pervious Area	30%	N/A
f. Interior Side Setback	7.5' (2)	N/A
g. Rear Setback	15' (3)	N/A

BUILDING CONFIGURATION



BUILDING SETBACKS

1. For lots 12,000 sf or greater, the maximum lot coverage shall be 30%; For lots 5,000 sf - 12,000 sf, the maximum lot coverage shall be 40%.
2. For lots 12,000 sf or greater, the interior side setback shall be a minimum of 18 feet.
3. For lots 7,000 sf or greater, the rear setback shall be a minimum of 20 feet. In all cases, if the proposed building is 2 stories or more the rear setback shall be a minimum of 30 feet.
4. Front setbacks are determined based on the street frontage and as specified in each TO overlay district. In addition, for lots 12,000 sf or greater, the front and corner side setback shall be a minimum of 35 feet. Garages accessed off the front and corner side of the lot, shall be setback from the primary structure positioned along the building line.

[illegible]

OPEN SPACE STANDARDS:

ILLUSTRATIVE EXAMPLES

**155.3501.O.4 - BUILDING TYPOLOGY AND PLACEMENT REGULATING DIAGRAM:
ILLUSTRATIVE EXAMPLES**

TOWNHOUSE BUILDING TYPE



ZERO-LOT LINE (SIDEYARD HOUSE TYPE)



ZERO-LOT LINE (COURTYARD HOUSE TYPE)



ZERO-LOT LINE (COURTYARD HOUSE TYPE)**SINGLE FAMILY DWELLING TYPE**

(Ord. 2012-64, passed 9-11-12; Am. Ord. [2013-37](#), passed 1-22-13; Am. Ord. [2013-75](#), passed 9-24-13; Am. Ord. [2017-34](#), passed 4-11-17; Am. Ord. [2018-40](#), passed 2-27-18; Am. Ord. [2019-110](#), passed 9-24-19; Am. Ord. [2021-09](#), passed 11-10-20)