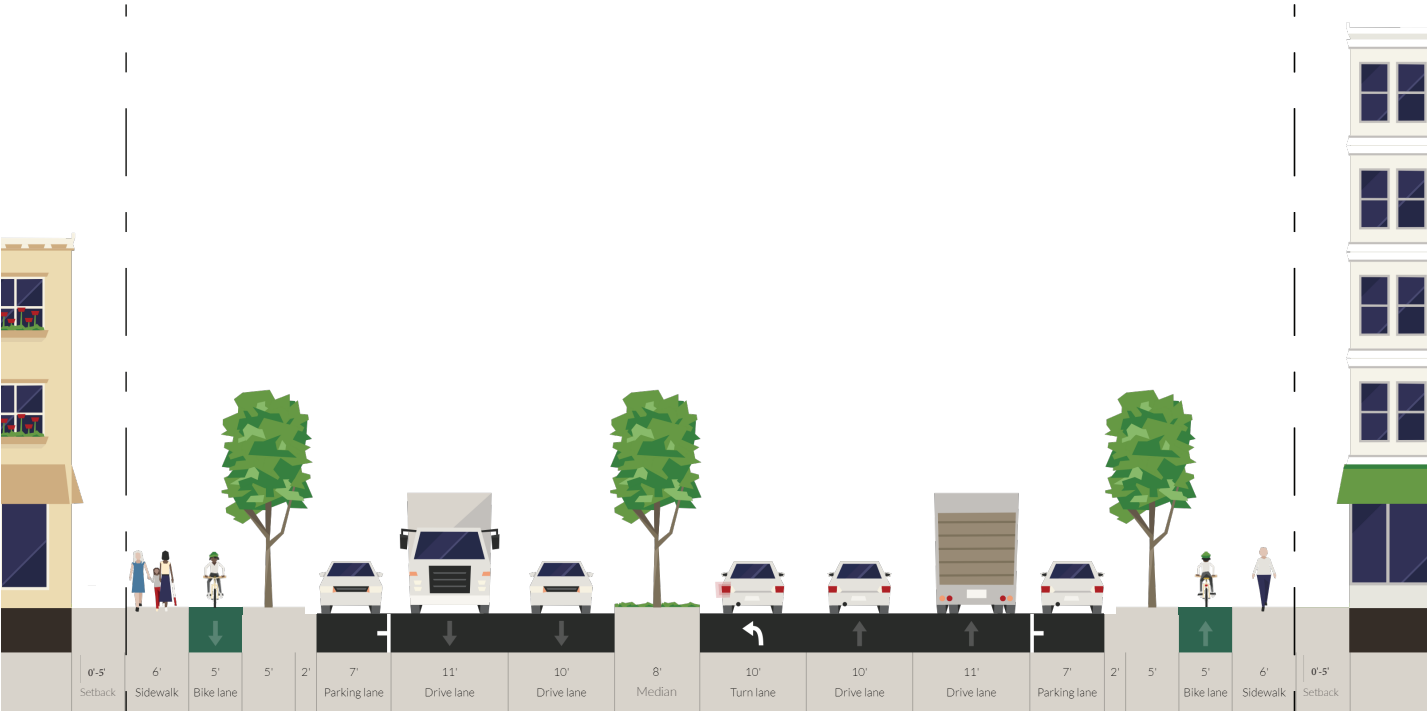


EAST OVERLAY DISTRICT - I 55.3709.F.2

STREET DEVELOPMENT REGULATING DIAGRAMS

EAST OVERLAY DISTRICT: STREET DEVELOPMENT REGULATING DIAGRAM

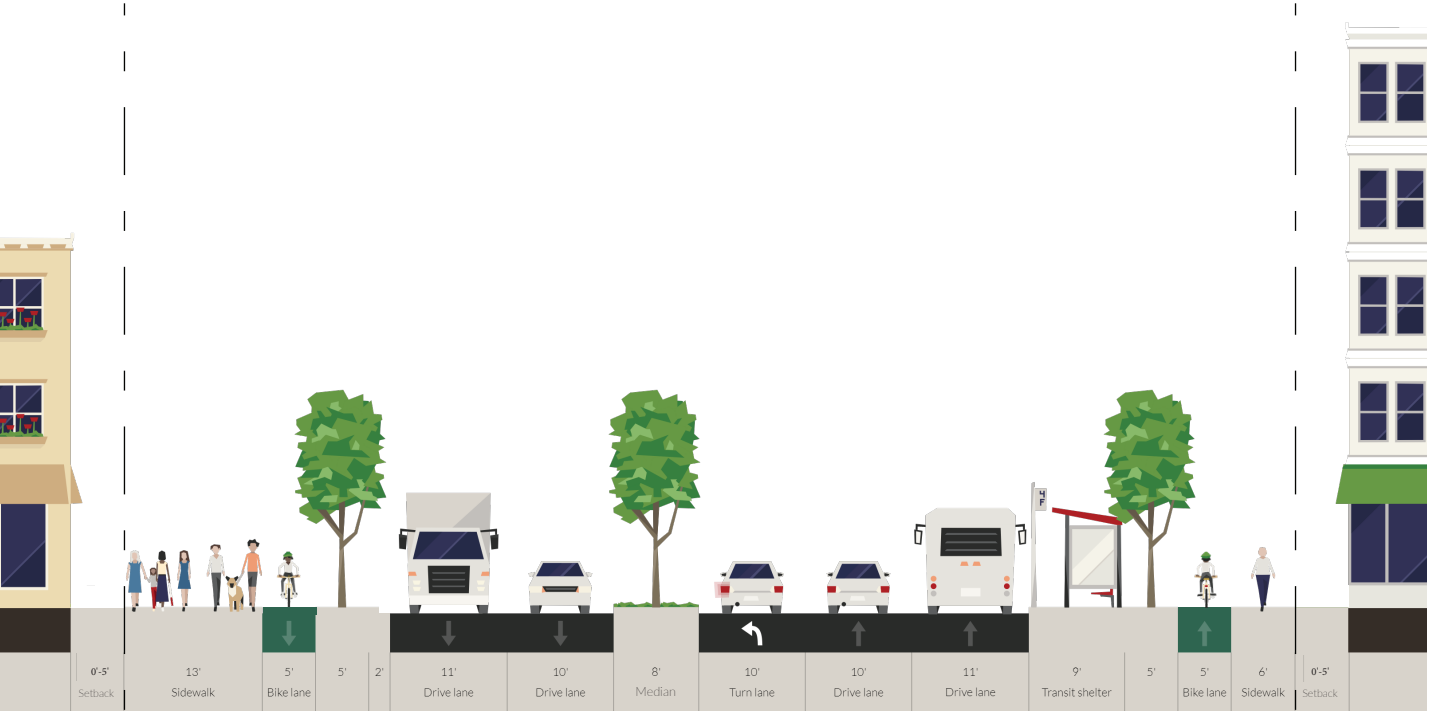
A. Atlantic Blvd.



Street Type	Primary Street, Greenway featuring Live Oak Street Trees
Sub-Area	Core (90% Building Frontage), Center (80% Building Frontage)
Setback ¹	Minimum 0' to Maximum 20' (Core and Center)
Right-of-Way Width	110'
Parking Lanes	Optional, See A.Atlantic Blvd. (alternatives to on-street parking)
Bike Lanes	5' buffered, at a continuous level with the sidewalk, delineated by color and texture or material
Walkway Type	6', between buffered bike lane and property line
Landscape Type	5' tree grates abutting parking or building entrances, or 5' landscape strip
Curb Type	Raised curb abutting gutter
Street Trees	Placed between 15' and 25' O.C.; Provided 1 per 25 feet of frontage
Median	18', with 10' turning lane where required
Notes	1. Developed in accordance with Sec. 155.3501.H.TO District Street Standards and Sec. 155.3709.I.2 Setbacks and Building Frontage.

EAST OVERLAY DISTRICT: STREET DEVELOPMENT REGULATING DIAGRAM

A. Atlantic Blvd. (alternatives to on-street parking)



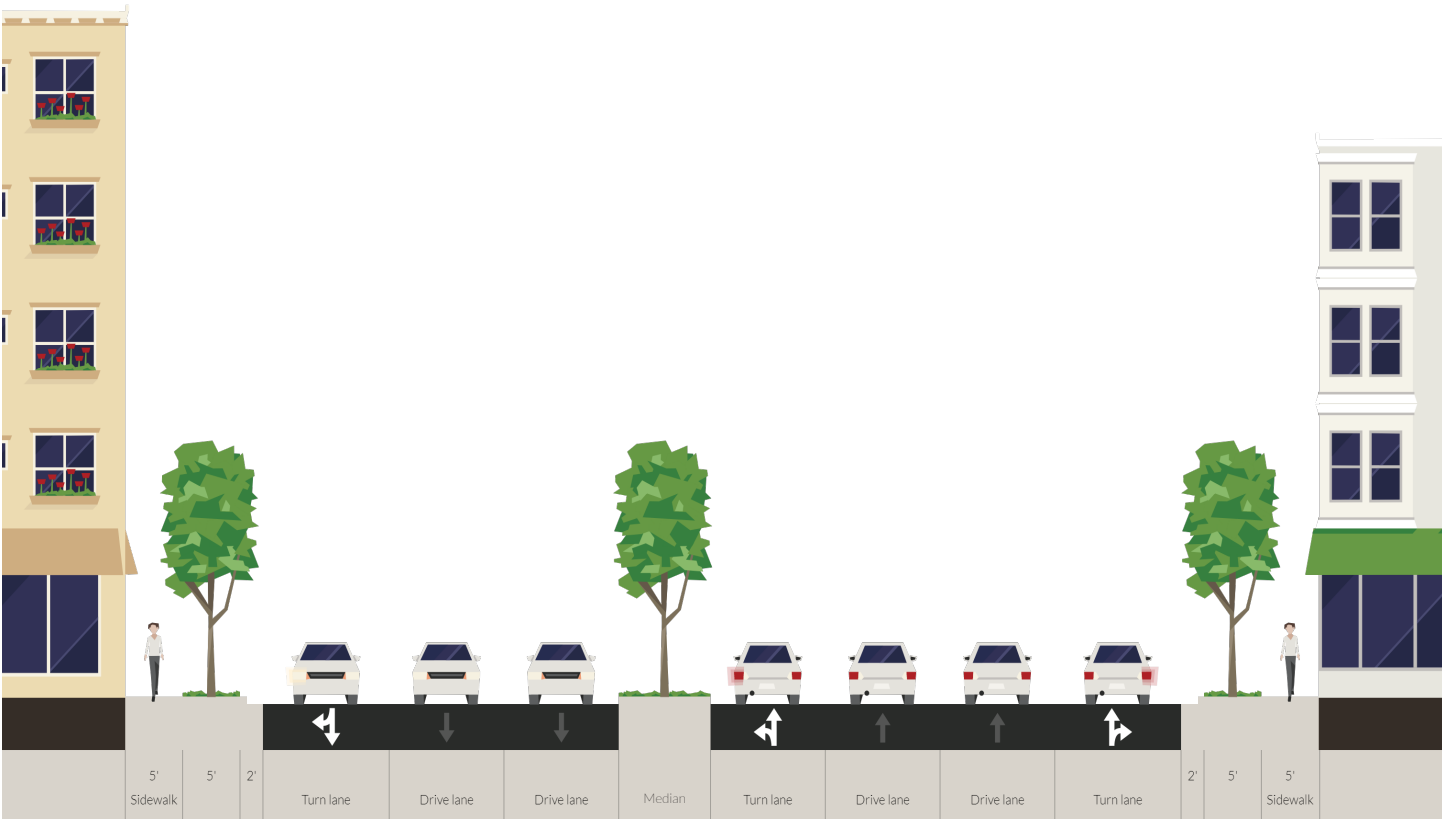
Street Type
Sub-Area
Setback ¹
Right-of-Way Width
Parking Lanes
Bike Lanes
Walkway Type
Landscape Type
Curb Type
Street Trees
Median
Notes

Primary Street, Greenway featuring Live Oak Street Trees
Core (90% Building Frontage), Center (80% Building Frontage)
Minimum 0' to Maximum 20' (Core and Center)
110'
Follow section A. Atlantic Blvd. for parking lane configuration
5' buffered, at a continuous level with the sidewalk, delineated by color and texture or material
6 ft. minimum, between buffered bike lane and property line
5' tree grates abutting parking or building entrances, or 5' landscape strip
Raised curb abutting gutter
Placed between 15' and 25' O.C.; Provided 1 per 25 feet of frontage
18', with 10' turning lane where required

1. Developed in accordance with Sec. 155.3501.H.TO District Street Standards and Sec. 155.3709.I.2 Setbacks and Building Frontage.

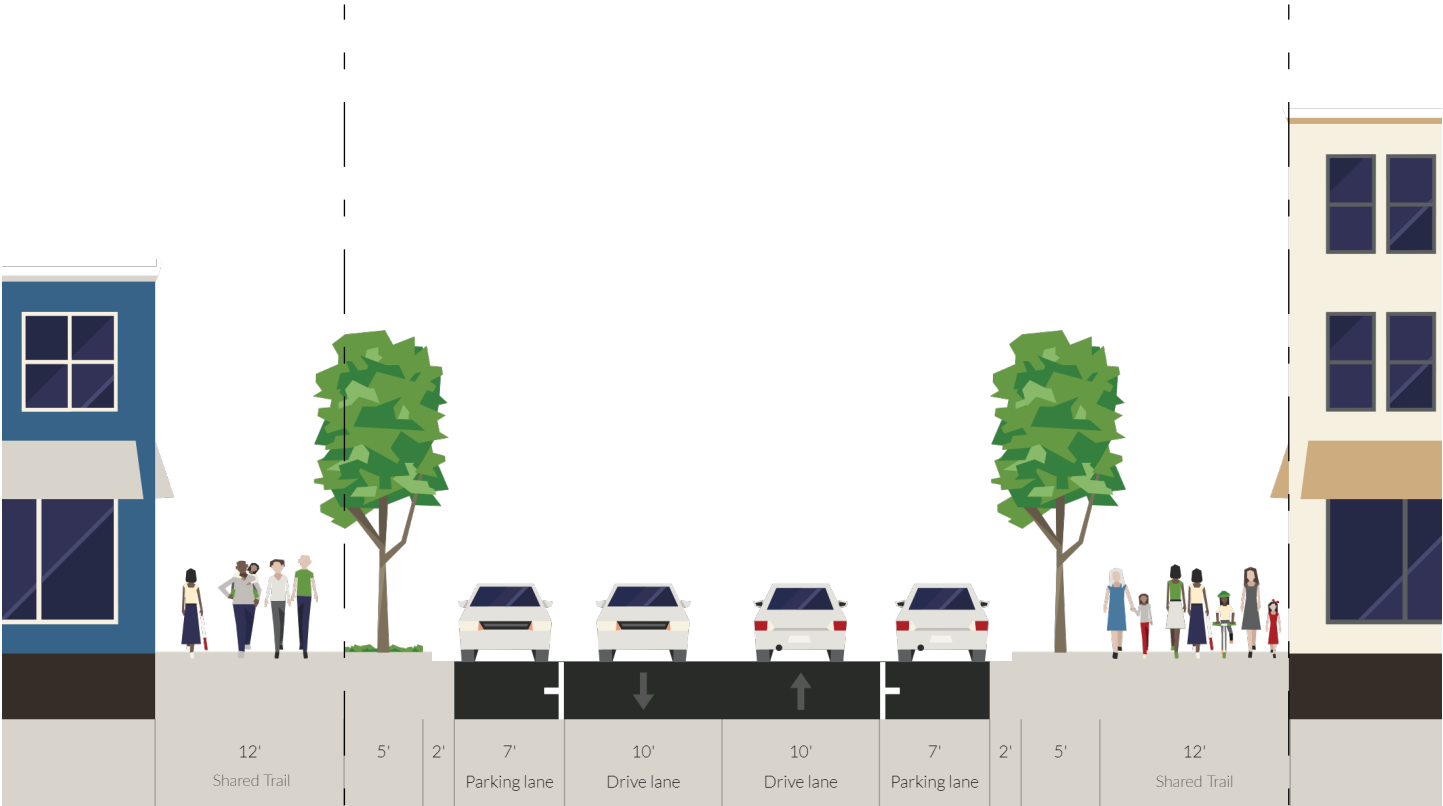
EAST OVERLAY DISTRICT: STREET DEVELOPMENT REGULATING DIAGRAM

B. Federal Hwy. (streetscape improvements, no change to travel lanes)



Street Type	Primary Street, Greenway
Sub-Area	Core (90% Building Frontage), Center (80% Building Frontage)
Setback ¹	Minimum 0' to Maximum 20' (Core and Center)
Right-of-Way Width	Varies, maintained by Florida Department of Transportation
Parking Lanes	N/A
Bike Lanes	N/A
Walkway Type	5' Minimum
Landscape Type	5' landscape strip or 5' tree grates abutting parking or building entrances
Curb Type	Raised curb abutting gutter
Street Trees	Placed between 15' and 25' O.C.; Provided 1 per 25 feet of frontage
Median	Varies
Notes	<div>1. Developed in accordance with Sec. 155.3501.H.TO District Street Standards and Sec. 155.3709.I.2 Setbacks and Building Frontage.</div> <div>2. Where there is an existing 5 foot sidewalk and there is not an existing 5 foot landscape strip or tree grates along the street edge, there shall be a minimum setback/easement of 5 feet as redevelopment occurs, to accommodate the landscape strip and the sidewalk.</div>

C. NE 5th Ave



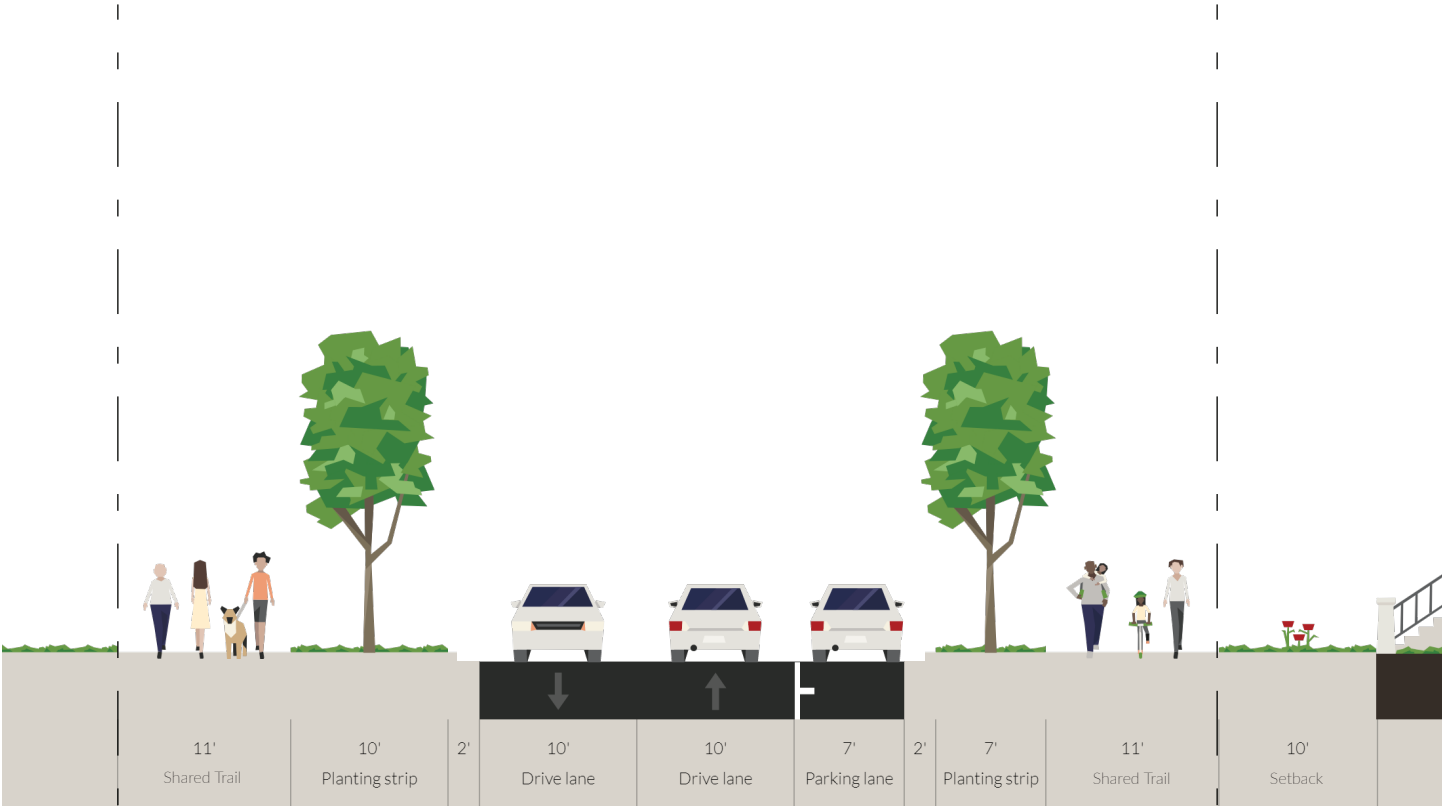
West side of roadway is within the TO/DPOD Zoning District

Street Type	Secondary Street, Greenway featuring Royal Poinciana Trees
Sub-Area	Center (70% Building Frontage), Edge (60% Building Frontage)
Setback ¹	Minimum 0' to Maximum 20' (Core), Minimum 10' to Maximum 30' (Edge)
Right-of-Way Width	60' plus 12' easement on the west side
Parking Lanes	Required
Bike Lanes	Shared Trail
Walkway Type	Shared Trail
Landscape Type	5' landscape strip or 5' tree grates abutting parking or building entrances
Curb Type	Raised curb abutting gutter
Street Trees	Placed between 15' and 25' O.C.; Provided 1 per 25 feet of frontage
Median	N/A

Notes

- 1. Developed in accordance with Sec. 155.3501.H.TO District Street Standards and Sec. 155.3709.I.2 Setbacks and Building Frontage.
- 2. The west side of NE 5th Ave is within the DPOD. A minimum 12 foot easement is intended to provide a shared trail for bicyclists and pedestrians.

EAST OVERLAY DISTRICT: STREET DEVELOPMENT REGULATING DIAGRAM
D. NE 1st St.

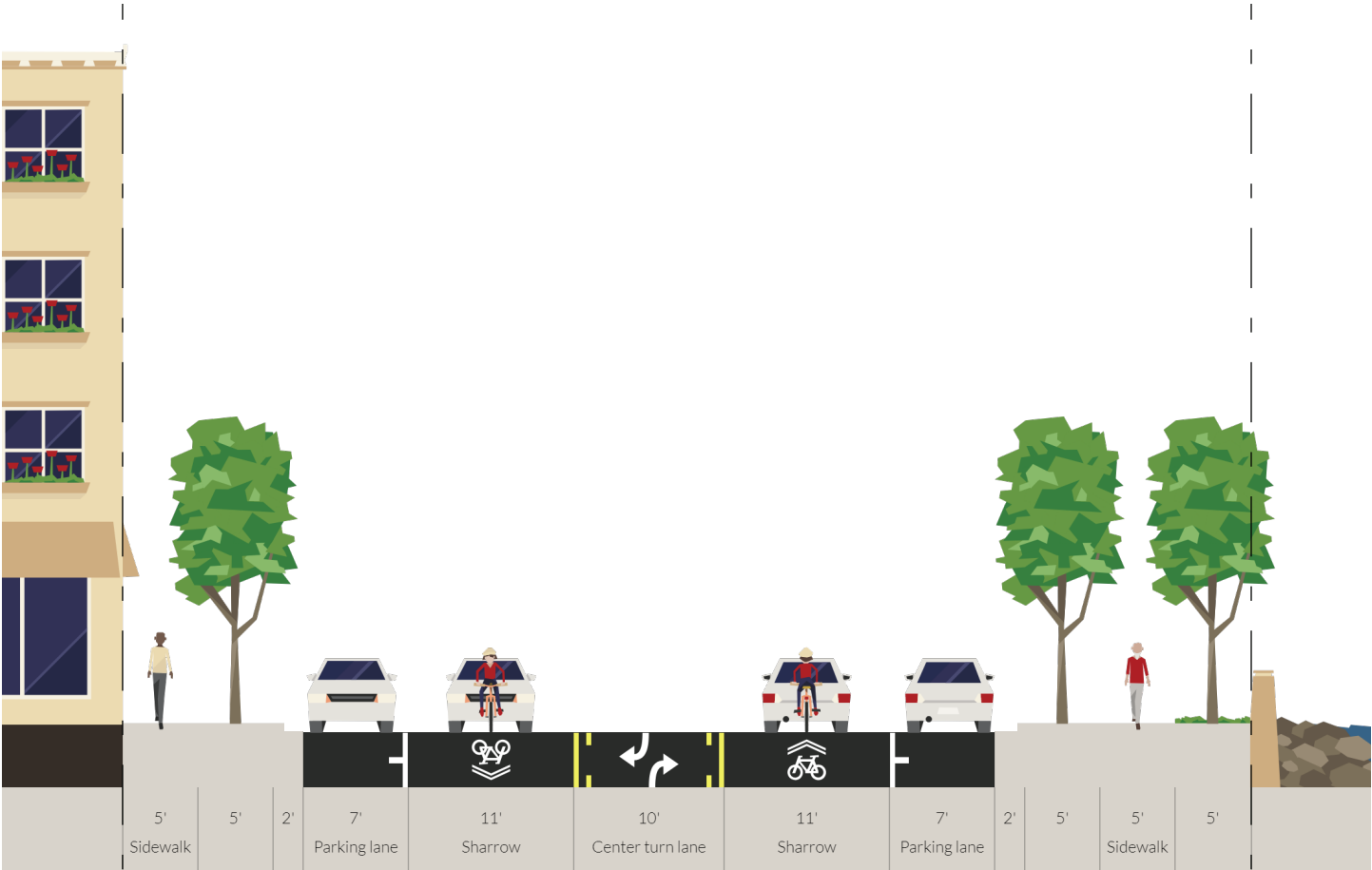


North side of roadway is not within
the TO/EOD Zoning District

Street Type	Secondary Street, Greenway featuring Royal Poinciana Trees
Sub-Area	Edge (60% Building Frontage)
Setback ¹	Minimum 10' to Maximum 30' (Edge)
Right-of-Way Width	70'
Parking Lanes	On the south side only
Bike Lanes	Shared trail
Walkway Type	Shared trail
Landscape Type	10' landscape strip on the north side, 7' on the south side
Curb Type	Raised curb abutting gutter
Street Trees	Placed between 15' and 25' O.C.; Provided 1 per 25 feet of frontage
Median	N/A
Notes	<div><div>1. Developed in accordance with Sec. 155.3501.H.TO District Street Standards and Sec. 155.3709.I.2 Setbacks and Building Frontage.</div><div>2. Tree grates may be used in lieu of a continuous landscape strip abutting on-street parking and building entrances</div><div>3. A minimum of 80 percent of the area within the setback shall be landscaped and shall consist primarily of sod, ground cover, or ornamental grass.</div></div>

EAST OVERLAY DISTRICT: STREET DEVELOPMENT REGULATING DIAGRAM

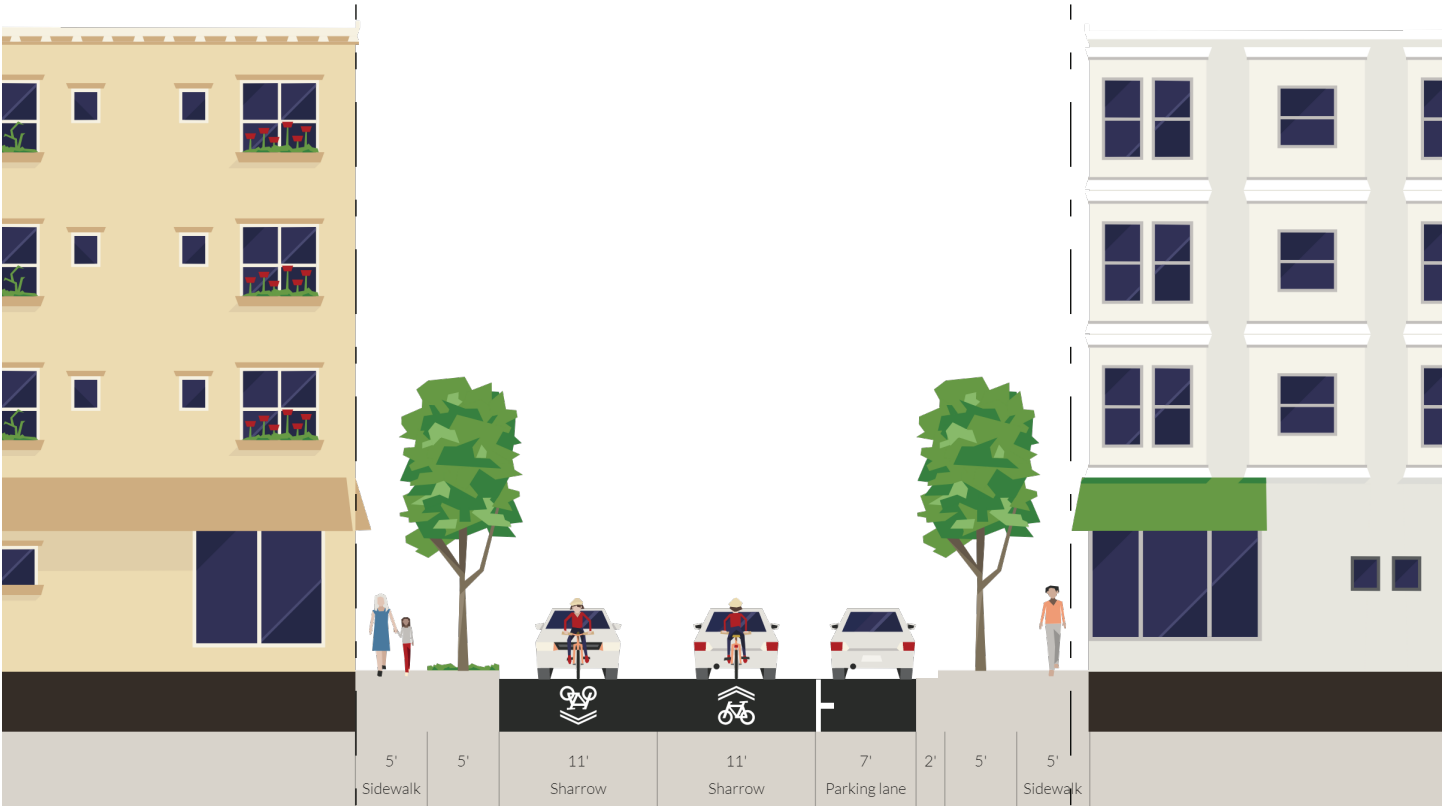
E. Harbor Dr. between NE 2nd Ave and Atlantic Blvd.



Street Type	Secondary Street, Greenway featuring Silver Trumpet Trees
Sub-Area	Core (80% Building Frontage), Center (70% Building Frontage), Edge (60% Building Frontage)
Setback ¹	Minimum 0' to Maximum 20' (Core), Minimum 10' to Maximum 30' (Edge)
Right-of-Way Width	75'
Parking Lanes	Required
Bike Lanes	Sharrow
Walkway Type	5' Sidewalk
Landscape Type	5' tree grates or 5' continuous landscape strip
Curb Type	Raised curb abutting gutter
Street Trees	Placed between 15' and 25' O.C.; Provided 1 per 25 feet of frontage
Median	10' striped median or turning lane
Notes	<ol style="list-style-type: none"> Developed in accordance with Sec. 155.3501.H.TO District Street Standards and Sec. 155.3709.I.2 Setbacks and Building Frontage. A minimum of 20 percent of the area within the setback shall be landscaped and shall consist primarily of sod, ground cover, ornamental grass, planters or tree grates.

EAST OVERLAY DISTRICT: STREET DEVELOPMENT REGULATING DIAGRAM

F. SE 28th Ave between Atlantic Blvd. and SE 1st Ct.



Street Type	Secondary Street, Greenway featuring Silver Trumpet Trees
Sub-Area	Core (80% Building Frontage), Center (70% Building Frontage), Edge (60% Building Frontage)
Setback ¹	Minimum 0' to Maximum 20' (Core/Center), Minimum 10' to Maximum 30' (Edge)
Right-of-Way Width	50' plus 1' as an easement on the east side to accommodate on-street parking
Parking Lanes	Required on the east side only
Bike Lanes	Sharrow
Walkway Type	5' Sidewalk
Landscape Type	5' landscape strip or 5' tree grates abutting parking and building entrances (east side)
Curb Type	Raised curb abutting gutter adjacent to parking lane
Street Trees	Placed between 15' and 25' O.C.; Provided 1 per 25 feet of frontage
Median	N/A
Notes	<div> <div>1.</div> <div>Developed in accordance with Sec. 155.3501.H.TO District Street Standards and Sec. 155.3709.I.2 Setbacks and Building Frontage.</div> </div> <div> <div>2.</div> <div>On the east side, setback minimums and maximums shall be measured from the required easement line.</div> </div>

EAST OVERLAY DISTRICT: STREET DEVELOPMENT REGULATING DIAGRAM

G. SE 1st Ct. between 25th Ave and 28th Ave



South side of roadway is not within the TO/EOD Zoning District

Street Type
Sub-Area
Setback ¹
Right-of-Way Width
Parking Lanes
Bike Lanes
Walkway Type
Landscape Type
Curb Type
Street Trees
Median
Notes

Secondary Street, Greenway featuring Silver Trumpet Trees
Edge (60% Building Frontage)
10' Minimum to 30' Maximum (Edge)
60'
N/A
Sharrow
5' sidewalk
12' continuous landscape strip
Raised Curb abutting gutter
Placed between 15' and 25' O.C.; Provided 1 per 25 feet of frontage
N/A

1. Developed in accordance with Sec. 155.3501.H.TO District Street Standards and Sec. 155.3709.I.2 Setbacks and Building Frontage.
2. A minimum of 80 percent of the area within the setback shall be landscaped and shall consist primarily of sod, ground cover, or ornamental grass.

EAST OVERLAY DISTRICT: STREET DEVELOPMENT REGULATING DIAGRAM

H. NE 22nd Ave between NE 4th and NE 6th St.



East side of roadway is not within the TO/EOD Zoning District

Street Type	Secondary Street, Greenway featuring Golder Shower Trees
Sub-Area	Center (70% Building Frontage)
Setback ¹	Minimum 0' to Maximum 20' (Edge)
Right-of-Way Width	60' plus 5' as an easement on both sides to accommodate the sidewalks
Parking Lanes	Required on the west side
Bike Lanes	Sharrow
Walkway Type	5' sidewalk
Landscape Type	5' tree grates or landscape strip on the west side, 12' landscape strip on the east side
Curb Type	Raised curb abutting gutter
Street Trees	Placed between 15' and 25' O.C.; Provided 1 per 25 feet of frontage
Median	N/A

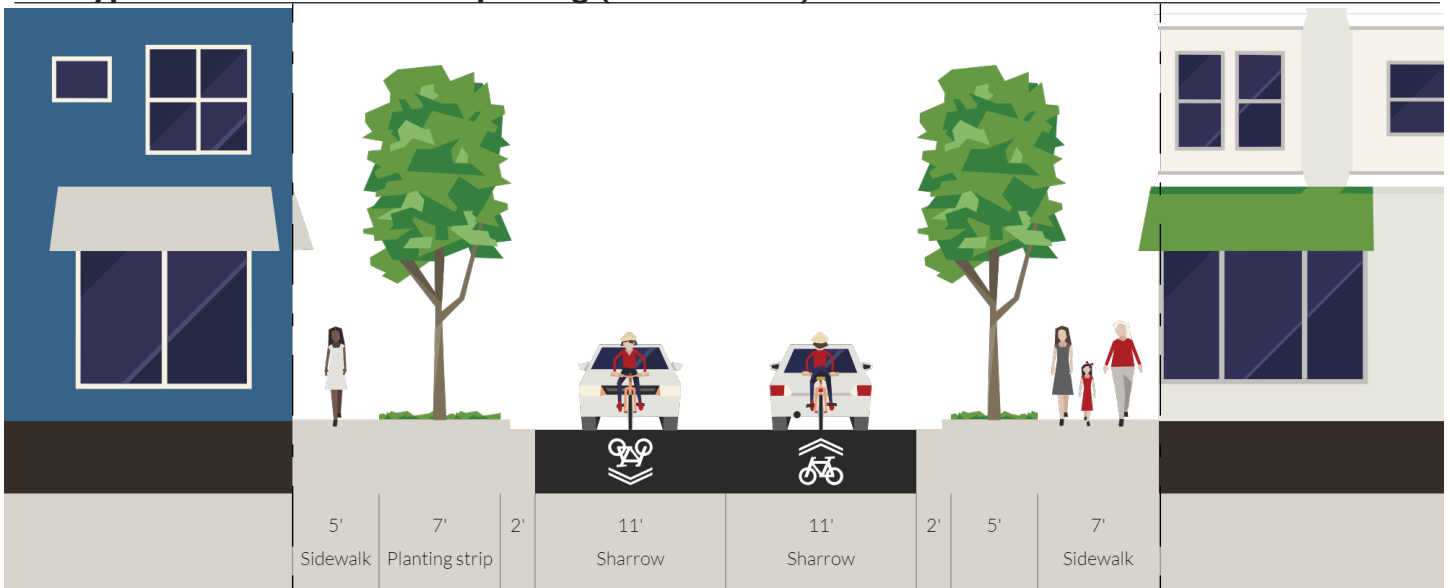
- Notes
1.

Developed in accordance with Sec. 155.3501.H.TO District Street Standards and Sec. 155.3709.I.2 Setbacks and Building Frontage.
2.

Setback minimums and maximums shall be measured from the required easement line.

EAST OVERLAY DISTRICT: STREET DEVELOPMENT REGULATING DIAGRAM

T-1. Typical 50' R.O.W. with no parking (Core/Center)



T-1. Typical 50' R.O.W. with no parking (Edge)



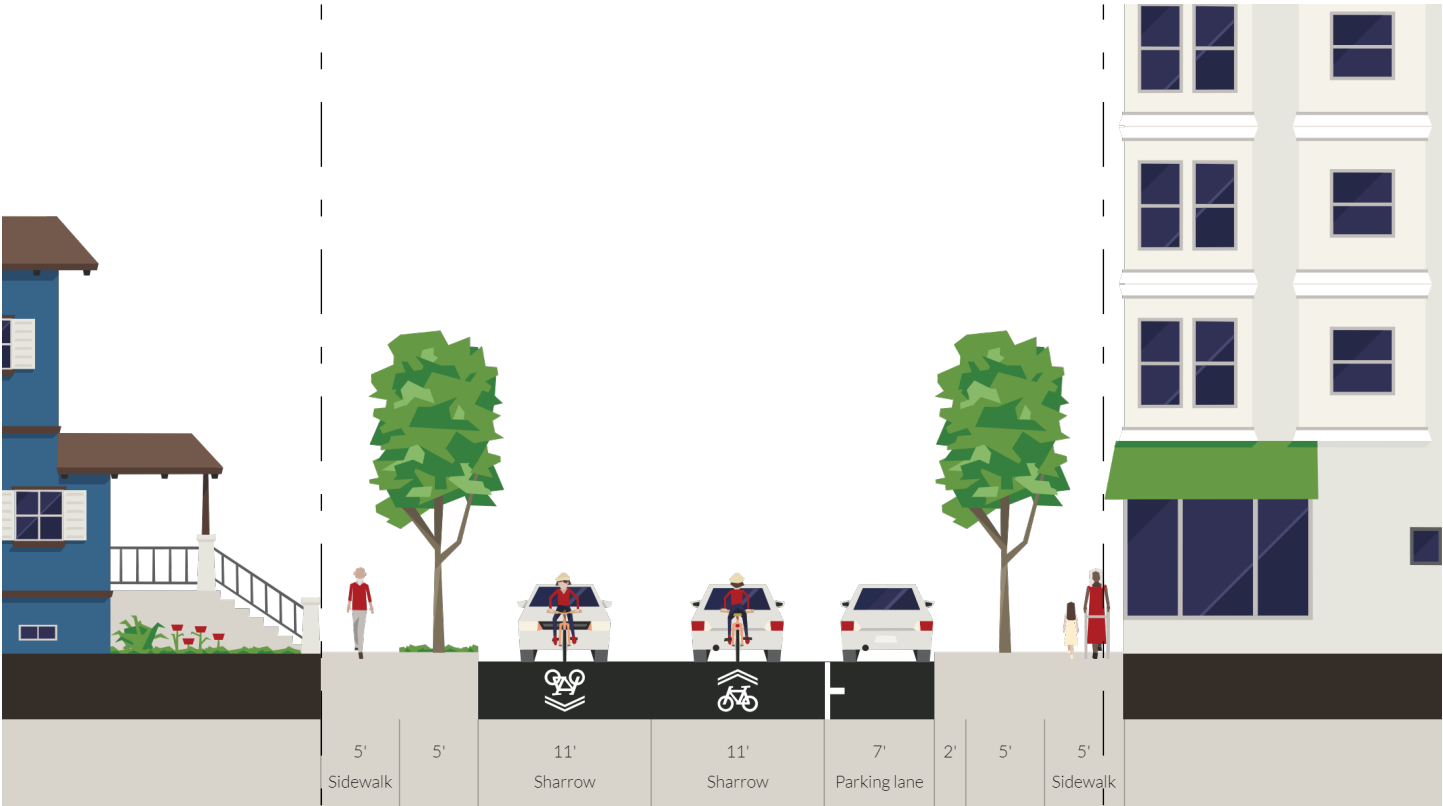
Street Type	Typical Street
Sub-Area	Core (80% Building Frontage), Center (70% Building Frontage), Edge (60% Building Frontage)
Setback ¹	Minimum 0' to Maximum 20' (Core), Minimum 10' to Maximum 30' (Edge)
Right-of-Way Width	50'
Parking Lanes	N/A
Bike Lanes	Sharrows
Walkway Type	5' to 7' sidewalk (Core/Center), 5' sidewalk (Edge)
Landscape Type	5' to 7' landscape strip or tree grates (Core/Center), 9' landscape strip (Edge)
Curb Type	Raised curb abutting gutter
Street Trees	Placed between 15' and 25' O.C.; Provided 1 per 30 feet of frontage
Median	N/A

Notes

- Developed in accordance with Sec. 155.3501.H.TO District Street Standards and Sec. 155.3709.I.2 Setbacks and Building Frontage.
- If the street is a designated Greenway, Street Trees shall be provided at 1 per 25 feet of frontage. Refer to TO Section K.5 for additional Greenway Standards.

EAST OVERLAY DISTRICT: STREET DEVELOPMENT REGULATING DIAGRAM

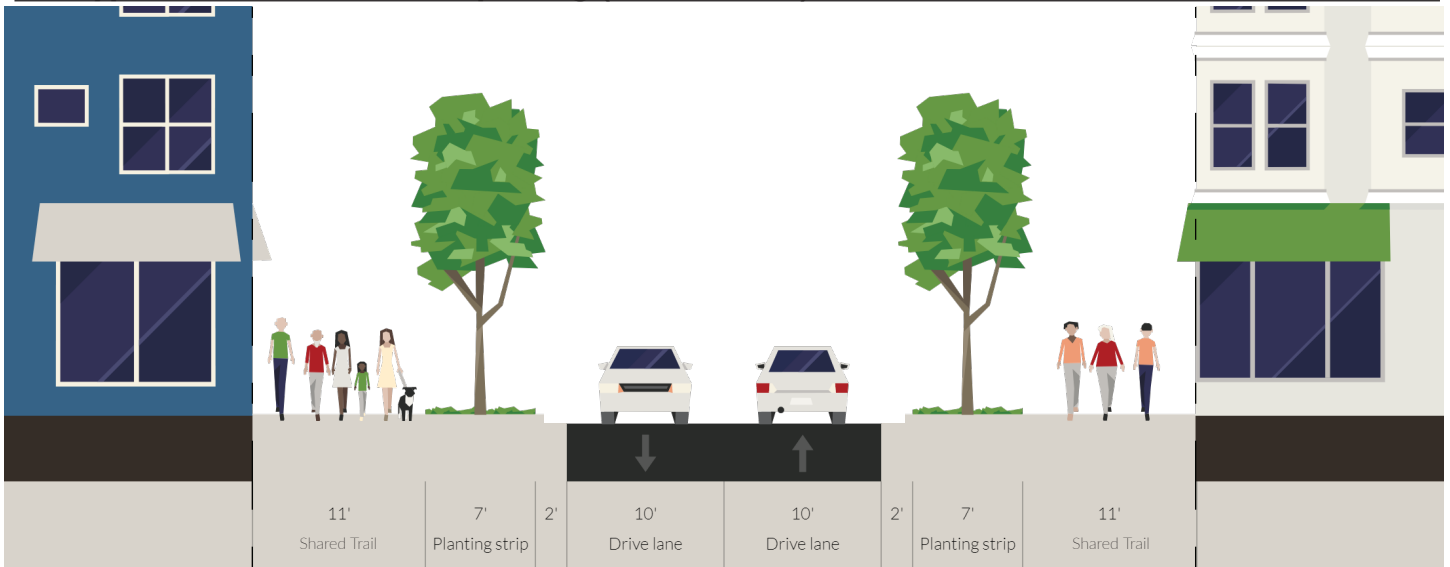
T-2. Typical 50' R.O.W. with parking on one side



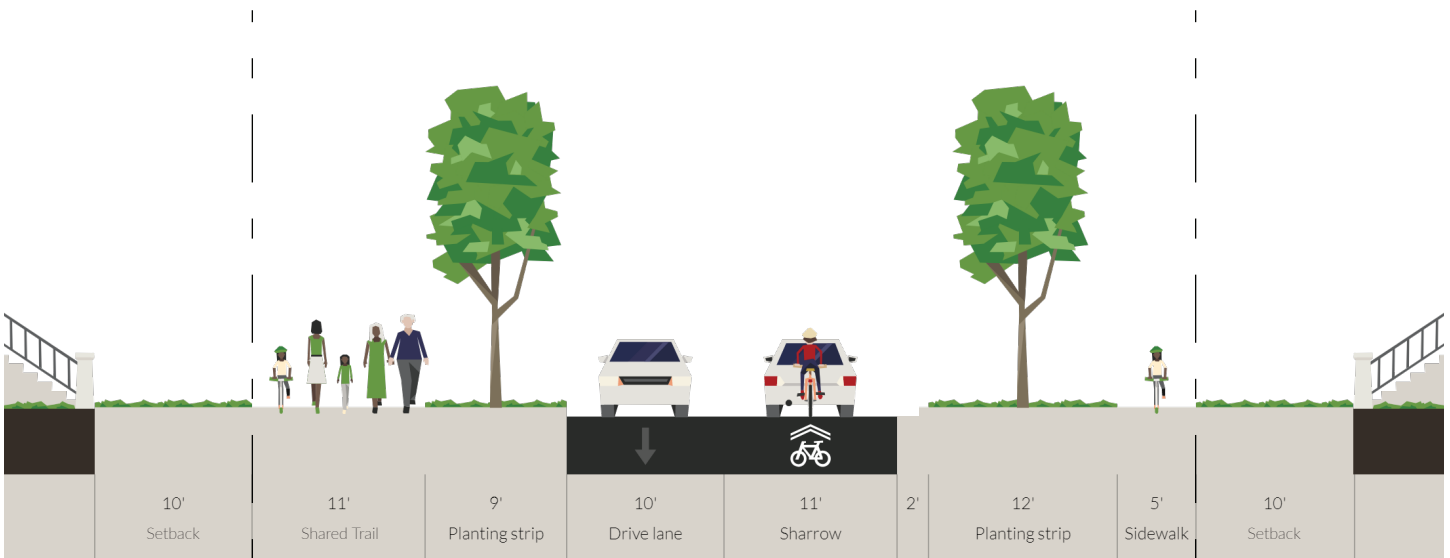
Street Type	Typical Street
Sub-Area	Core (80% Building Frontage), Center (70% Building Frontage), Edge (60% Building Frontage)
Setback ¹	Minimum 0' to Maximum 20' (Core), Minimum 10' to Maximum 30' (Edge)
Right-of-Way Width	50' plus 1' as an easement to accommodate on-street parking
Parking Lanes	N/A
Bike Lanes	Sharrows
Walkway Type	5' sidewalk
Landscape Type	5' landscape strip or 5' tree grates abutting parking and building entrances
Curb Type	Raised curb abutting gutter
Street Trees	Placed between 15' and 25' O.C.; Provided 1 per 30 feet of frontage
Median	N/A
Notes	<div><div>1.</div><div>Developed in accordance with Sec. 155.3501.H.TO District Street Standards and Sec. 155.3709.I.2 Setbacks and Building Frontage.</div></div> <div><div>2.</div><div>If the street is a designated Greenway, Street Trees shall be provided at 1 per 25 feet of frontage. Refer to TO Section K.5 for additional Greenway Standards.</div></div> <div><div>3.</div><div>Setback minimums and maximums shall be measured from the property line or the required easement line.</div></div>

EAST OVERLAY DISTRICT: STREET DEVELOPMENT REGULATING DIAGRAM

T-3. Typical 60' R.O.W. with no parking (Core/Center)



T-3. Typical 60' R.O.W. with no parking (Edge)

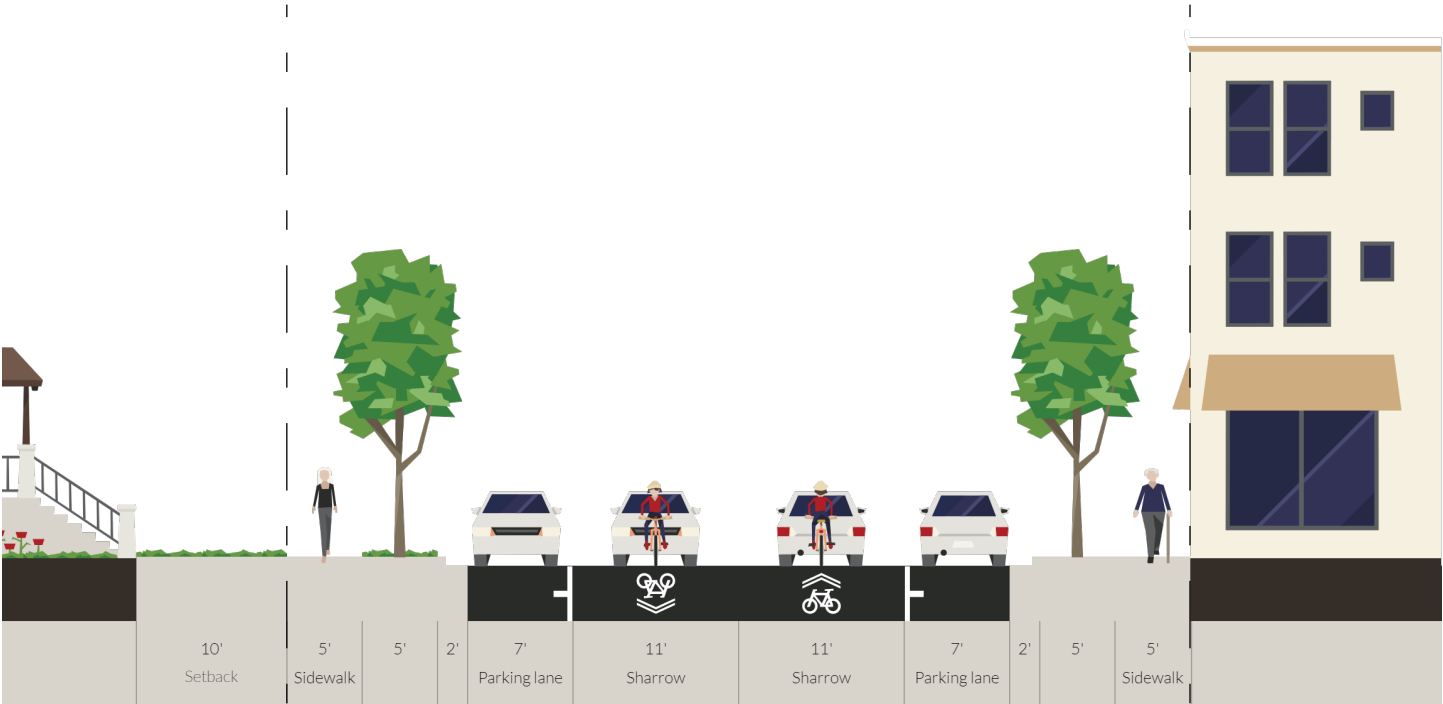


Street Type	Typical Street
Sub-Area	Core (80% Building Frontage), Center (70% Building Frontage), Edge (60% Building Frontage)
Setback ¹	Minimum 0' to Maximum 20' (Core), Minimum 10' to Maximum 30' (Edge)
Right-of-Way Width	60'
Parking Lanes	N/A
Bike Lanes	Shared Trail or Sharrow
Walkway Type	11' Shared Trail or 5' sidewalk
Landscape Type	7' landscape strip (Core/Center), 9' to 12' landscape strip (Edge)
Curb Type	Raised curb abutting gutter, where required
Street Trees	Placed between 15' and 25' O.C.; Provided 1 per 30 feet of frontage
Median	N/A

Notes

1. Developed in accordance with Sec. 155.3501.H.TO District Street Standards and Sec. 155.3709.I.2 Setbacks and Building Frontage.
2. If the street is a designated Greenway, Street Trees shall be provided at 1 per 25 feet of frontage. Refer to TO Section K.5 for additional Greenway Standards.

T-4. Typical 60' R.O.W. with parking on both sides



Street Type	Typical Street
Sub-Area	Core (80% Building Frontage), Center (70% Building Frontage), Edge (60% Building Frontage)
Setback ¹	Minimum 0' to Maximum 20' (Core), Minimum 10' to Maximum 30' (Edge)
Right-of-Way Width	60'
Parking Lanes	N/A
Bike Lanes	Sharrows
Walkway Type	5' sidewalk
Landscape Type	5' landscape strip or 5' tree grates abutting parking and building entrances
Curb Type	Raised curb abutting gutter
Street Trees	Placed between 15' and 25' O.C.; Provided 1 per 30 feet of frontage
Median	N/A

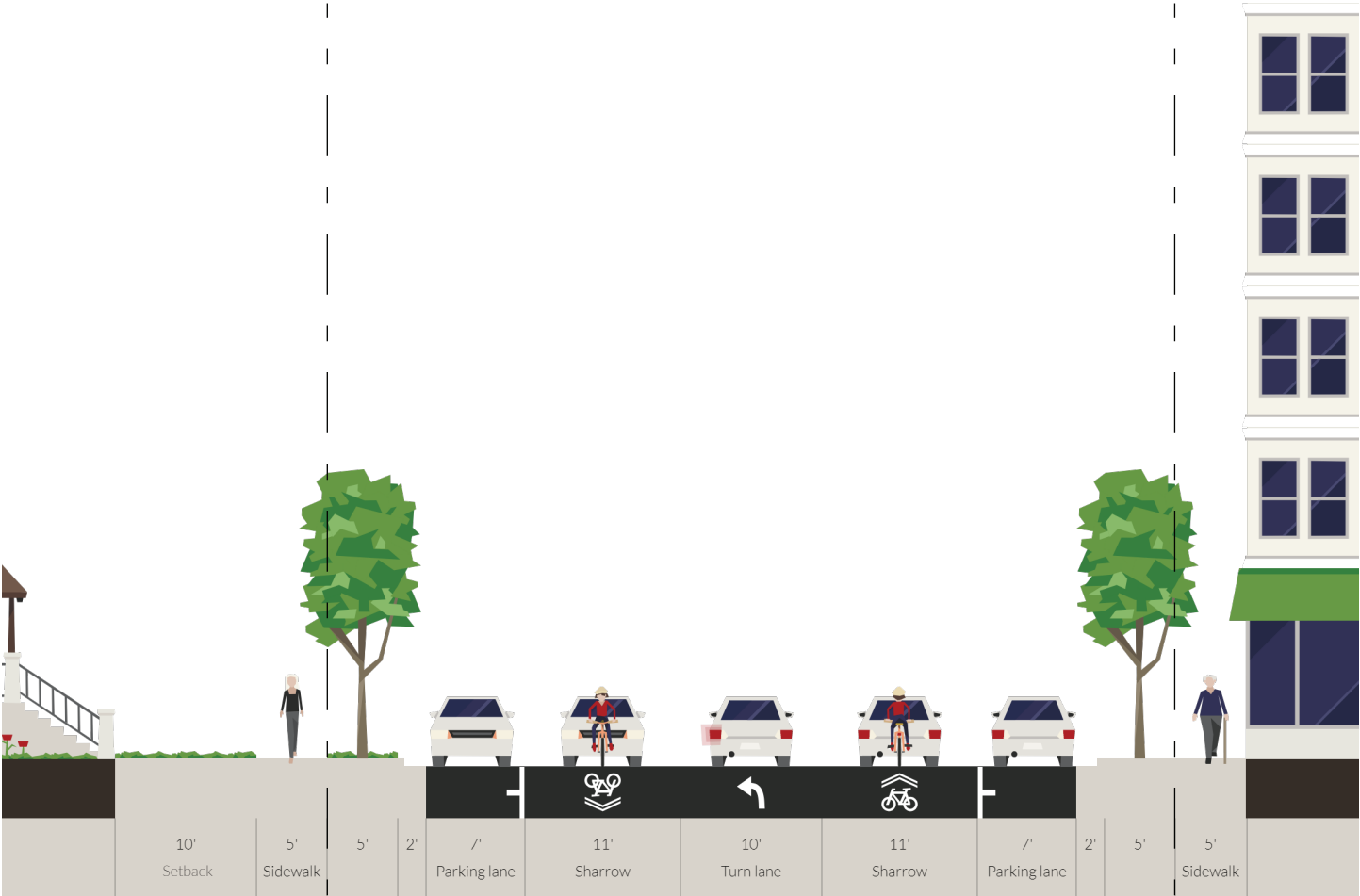
- Notes
1.

Developed in accordance with Sec. 155.3501.H.TO District Street Standards and Sec. 155.3709.I.2 Setbacks and Building Frontage.
2.

If the street is a designated Greenway, Street Trees shall be provided at 1 per 25 feet of frontage. Refer to TO Section K.5 for additional Greenway Standards.

EAST OVERLAY DISTRICT: STREET DEVELOPMENT REGULATING DIAGRAM

T-5. Typical 60' R.O.W. with turning lane and parking on both sides

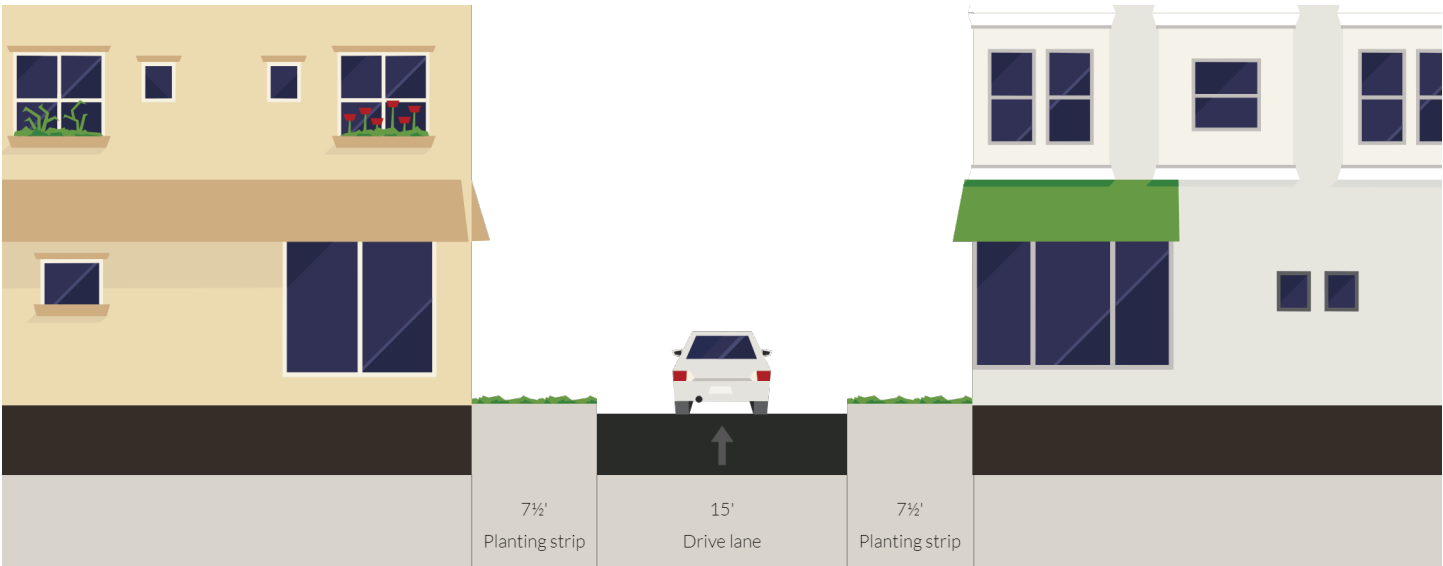


Street Type	Typical Street
Sub-Area	Core (80% Building Frontage), Center (70% Building Frontage), Edge (60% Building Frontage)
Setback ¹	Minimum 0' to Maximum 20' (Core), Minimum 10' to Maximum 30' (Edge)
Right-of-Way Width	60' plus 5', as an easement, on both sides to accommodate the sidewalk
Parking Lanes	N/A
Bike Lanes	Sharrow
Walkway Type	5' sidewalk
Landscape Type	5' landscape strip or 5' tree grates abutting parking and building entrances
Curb Type	Raised curb abutting gutter
Street Trees	Placed between 15' and 25' O.C.; Provided 1 per 30 feet of frontage
Median	10' turning lane or striped median

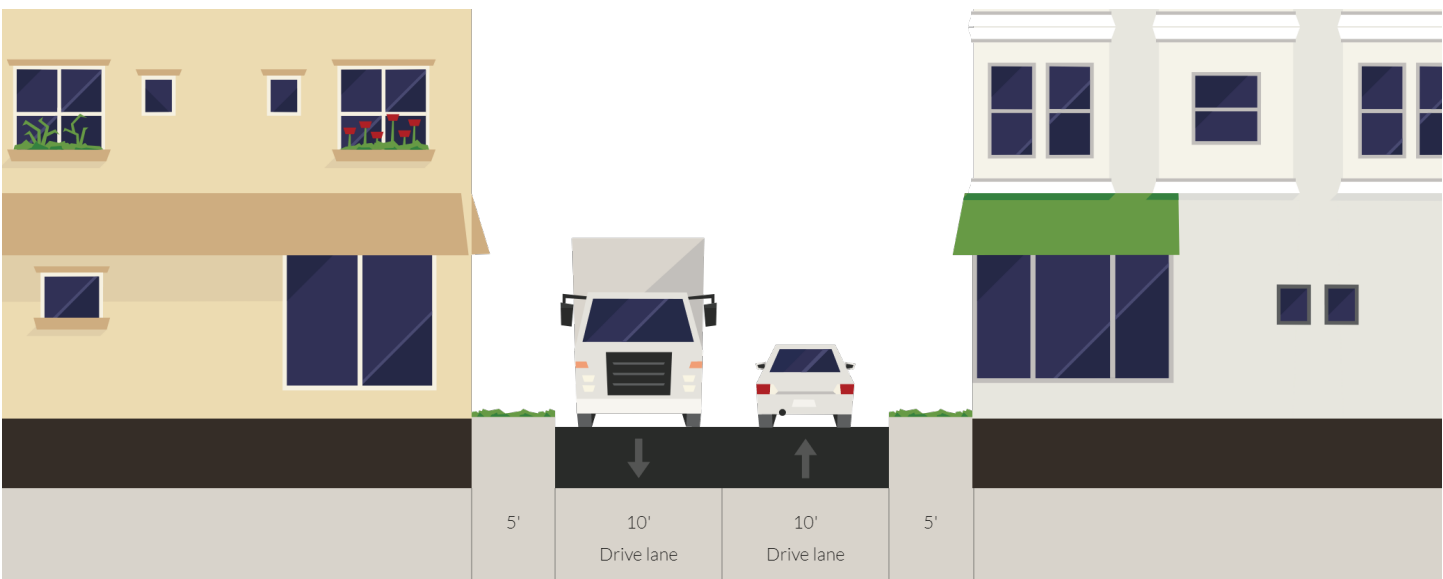
- Notes
1. Developed in accordance with Sec. 155.3501.H.TO District Street Standards and Sec. 155.3709.I.2 Setbacks and Building Frontage.
 2. If the street is a designated Greenway, Street Trees shall be provided at 1 per 25 feet of frontage. Refer to TO Section K.5 for additional Greenway Standards.

EAST OVERLAY DISTRICT: STREET DEVELOPMENT REGULATING DIAGRAM

Alley/Service Drive (one-way)



Alley/Service Drive (two-way)

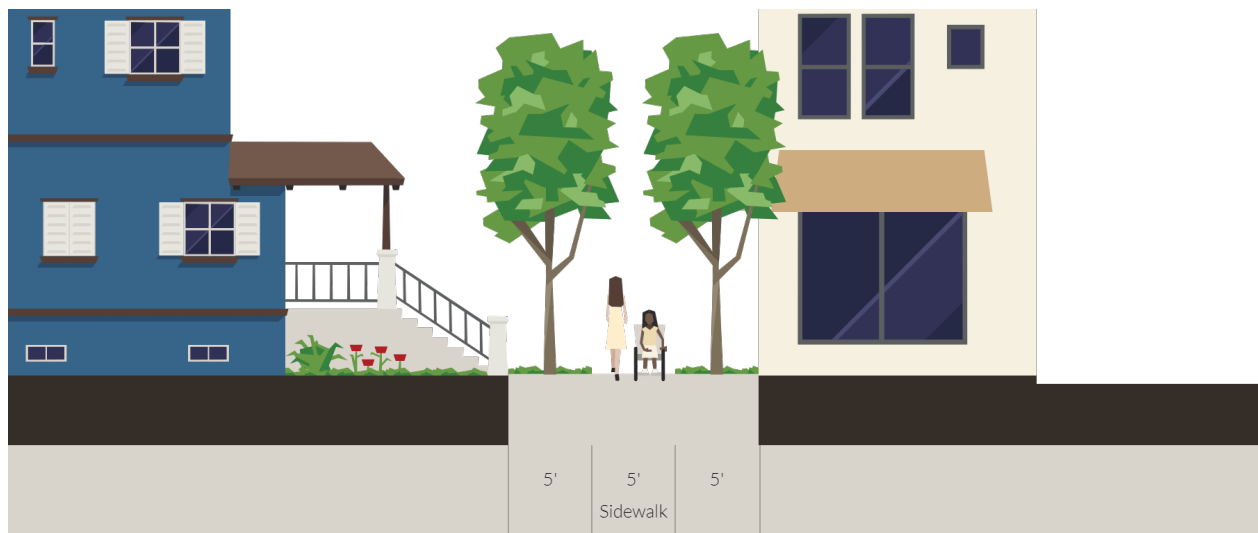


Street Type	Alley/Service Drive (one-way)	Alley/Service Drive (two-way)
Sub-Area	Core / Center / Edge	Core / Center / Edge
Setback	0	0
Pavement Width	15' Alley	20' Alley
Parking Lanes	N/A	N/A
Bike Lanes	N/A	N/A
Walkway Type	N/A	N/A
Landscape Type	7.5' landscape strip on both sides	5' landscape strip on both sides
Curb Type	N/A	N/A
Street Trees	N/A	N/A
Median	N/A	N/A
Notes	I. Service Drives are to access parking areas and are on private property.	

Pedestrian Passage (Core/Center)

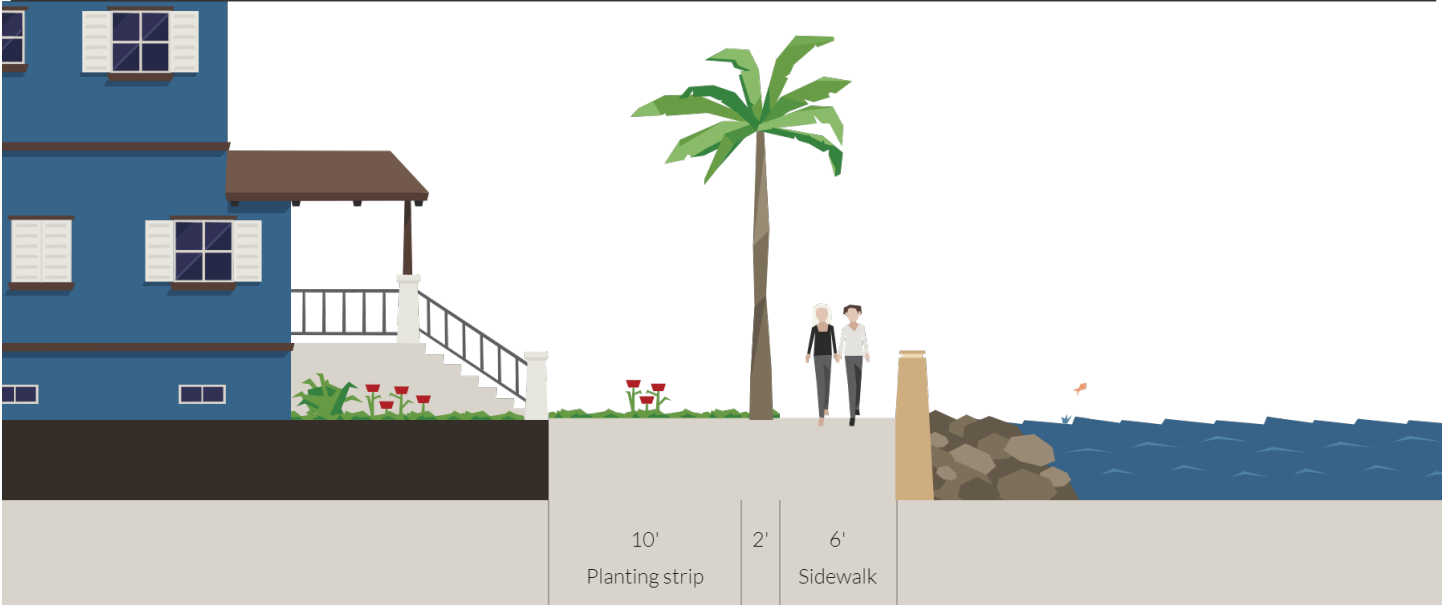


Pedestrian Passage (Edge)

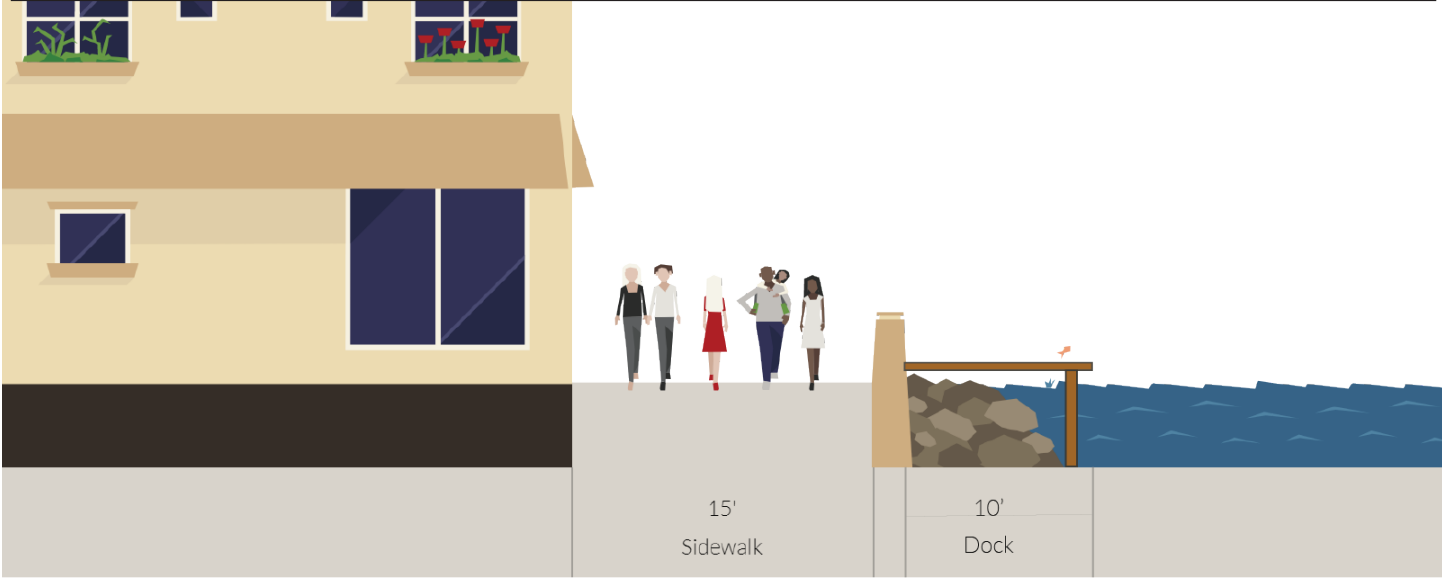


Street Type	Pedestrian Passage	Pedestrian Passage
Sub-Area	Core / Center	Edge
Setback	Varies with building typology	Varies with building typology
Passage Width	15'	5'
Parking Lanes	N/A	N/A
Bike Lanes	Shared Trail	N/A
Walkway Type	Sidewalk	Sidewalk
Landscape Type	Planters permitted	5' landscape strip on both sides
Curb Type	N/A	N/A
Street Trees	N/A	N/A
Median	N/A	N/A
Notes	A pedestrian passage may be required in accordance with the Open Spaces and Greenways Regulating Plan or may be provided, in accordance with the Building Typology and Placement Regulating Diagrams for setback relief.	

Residential Waterfront Promenade



Commercial Waterfront Promenade



Street Type	Residential Waterfront Promenade	Commercial Waterfront Promenade
Sub-Area	Core / Center / Edge	Core / Center
Setback ^I	Minimum 18' (8' easement required)	Minimum 15' (15' easement required)
Building Frontage	20' of depth; 90%, 80%, 70% per Sub-Area	20' of depth; 90%, 80% per Sub-Area
Dock	Optional	Minimum 10' required
Walkway Type	Minimum 8' concrete land side of seawall	Minimum 15' concrete land side of seawall
Notes	I. Developed in accordance with Sec. 155.3709.H	